

Combined Building and Pest Report

Provided By



MEC Builders

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Inspection Address

0001 Example St, Suburb, QLD, 4212



40

Minor Defects

20

Major Defects

Report Information

Client Information

Client Name	Example Name
Report Ordered By	Example Report Only
Email	alex@3pdigital.com.au

Inspection Information

Report/Agreement #	091225010807477
Inspection Date:	09 Dec 2025
Inspection Time:	01:08 pm

Pest And Building Inspection

The Scope of the Inspection:

Safety, working at heights, weather conditions and all other terms and conditions will be applied and at the sole discretion of the building inspector.

This report Complies with Australian Building Standards AS 4349.1-2007. Inspection of Buildings Part 1: Pre-Purchase Inspections-Residential Buildings- Appendix "C" and with AS 4349.3-2010 (Visual Timber Pest Inspection Report)

The inspection WILL NOT report on items listed in Appendix "D" of AS4349.1.2007

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

Special Requirements: Unless stated otherwise in the report It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the above mentioned Australian Standard but will include the terms and conditions and the Inspection Agreement as outlined by MEC Builders and the representatives

Changes to the Inspection Agreement:

Unless stated otherwise in the report It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-Inspection Agreement and the scope of this inspection report.

PLEASE REFER TO THE TERMS AND CONDITIONS SECTION AT THE END AND THE TERMS AND CONDITIONS SUPPLIED BY MEC BUILDERS OF THIS REPORT AS IT FORMS PART OF THIS INSPECTION REPORT

Areas to be Inspected and Restrictions

The Building and the site including fencing that is up to 15 meters from the building and within the boundaries of the site. Where present and accessible, the Inspection shall include.
















(a) The interior of the building.

- (b) The roof space restricted by enter a confined space and including enter safely as required by legislation and Work Place Health and safety requirements
- (c) The exterior of the building
- (d) The sub-floor space
- (e) The roof exterior will be restricted by working at height legislation, weather and any and all safety requirements which is at the sole discretion of the building inspector.
- (f) The property within 15 meters and or fence boundary of the building subject to inspection.

VISUAL INSPECTION:

This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the property owner.

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Summary Of Major Defects And Safety Hazards

Below is a summary of significant items requiring immediate action.

The # denotes to the defect number in the report

Section	Location	Name	Comment
REPORT INFORMATION	Property Information	Mould observed.	#2. There is evidence of mould in the structure. Read report.
SITE	Pool	Pool	#12. There is no CPR sign displayed. Replace sign in a regulation approved position.
ROOF AND GUTTER	Roof Covering	Roof Clad Condition	#18. Deterioration & ageing evident. This includes all flashings fittings and roof penetrations. I recommend you contact a roof restorer to clean, seal, and repoint the mortar (not required on metal roofs).
HOT WATER SYSTEM/ UNDERGROUND PIPE WORK	External Plumbing Pipes/ underground pipes	Plumbing Pipes/ underground pipes	#22. Due to the age and configuration of the building a internal inspection by video of the pipe work should be conducted. Consult QBCC qualified plumber.
EXTERIOR	Exterior Walls	Condition	#25. Cracks noted. Possible causes may be foundation movement. Support structure deflection. Thermal movement and moisture uptake or loss, failure under external loads. A structural engineer should be consulted for further evaluation and advice.
EXTERIOR	Exterior Walls	Condition	#27. Brick spawling/cancer noted in some bricks. BRICK SPAWLING. Cancer/Spalling happens when moisture inside the brick expands and contracts due to temperature changes. Have repaired by a licensed brick layer. This is urgent as bricks could crack and shatter causing structural subsidence of the dwelling . Contact a licenced rising damp specialist and licenced brick layer for advice.
EXTERIOR	Rising Damp	Rising Damp Findings	#28. High moisture readings were to the exterior walls. We recommend a damp proof course specialist be engaged for further evaluation and repairs.
EXTERIOR	Rising Damp	Rising Damp Findings	#30. Evidence of rising damp issues. Consult QBCC qualified waterproof specialist.
EXTERIOR	Siding	Condition	#31. Timber decay (rot) visible. Recommendations: A qualified carpenter should be engaged to replace all affected timbers.

EXTERIOR	Air Conditioner	Condition defects	<p>#32.</p> <p>Air conditioning ductwork must be suspended in accordance with Australian standard 4254.1–2012 and the National construction code. Flexible ductwork should be supported horizontally every 1.5 m and vertically every 1.8 m. The maximum sag between Support is 2.5 cm per 30 cm of horizontal run.</p> <p>Long horizontal duct with sharp bends should have additional support.</p> <p>The hanger or saddle material should be wide enough to prevent restricting the ducts internal diameter. A semi rigid fire resistant load distributing support material must be at least 75 mm wide.</p> <p>Flexible ductwork Installed in subfloor site must be supported so that no part of the duct touches the ground. All flexible ductwork must be labelled flexible ductwork must extend straight for 100 mm from the connection to an air terminal device before changing direction.</p> <p>Consult and air-conditioning specialist for rectification.</p>
STAIRS- PERGOLA- BALCONIES- DECKS, BALI HUT/ GAZEBO	Stairs & Steps	Balustrade and Rails	<p>#35. The stairs do not have an approved handrail. The National Construction Code of 2015 3.9.2.4 (a) Handrails to a Stairway must (1) be located along at least one side of a flight or ramp and, (2) be located along the full length of the flight or ramp (3) have a top surface of the handrail not less than 865 mm vertically above the treads . NCC 3.9.2.4 (b) If there is a winder or turn on the stairs a newel post or handrail is required . and AS 1657-2013. Every stairway will be provided with at least one handrail, where there is more than 5 stairs or the height is more than 1 meter and on a wind. Consult a qualified tradesman for advice.</p>
STAIRS- PERGOLA- BALCONIES- DECKS, BALI HUT/ GAZEBO	Decking Findings	Deck Framework	<p>#37. Timber decay in section of bearers or joists. This is a safety hazard and repair is required. Recommendations: A qualified carpenter should be engaged to replace all affected timbers.</p>
STAIRS- PERGOLA- BALCONIES- DECKS, BALI HUT/ GAZEBO	Decking Findings	Balustrade and Rails	<p>#39. Timber decay in areas of balustrade and/or rails. Recommendations: A qualified carpenter should be engaged for advice and recommendations. This is a safety issue and requires immediate assessment.</p>
STAIRS- PERGOLA- BALCONIES- DECKS, BALI HUT/ GAZEBO	Pergola Findings	Overall Condition	<p>#42. The pergola has numerous defects concerning construction which renders the structure to failure. Consult carpenter.</p>

INTERIORS	Smoke Alarm	Smoke alarm legislation	<p>#43. From 1 January 2022 new fire alarm and smoke detectors come into force.</p> <p>Leased properties require that the new smoke detector legislation be followed.</p> <p>Persons selling properties are required to issue a form 24 to ensure that all smoke detector legislation is followed.</p> <p>The legislation requires a smoke detector in each bedroom. Each smoke detector must be Wi-Fi to other smoke detectors. A smoke detector must be located within 4 m of the bedrooms. The smoke detectors must be hardwired or have a 10 year ionised battery.</p> <p>The smoke detectors cannot be any older than 10 years of age.</p> <p>The purchaser should insure that smoke detector legislation is followed.</p> <p>APPEARS NON COMPLIANT.</p>
INTERIORS	Bedroom 2	Windows	<p>#45. The window has been installed with excessive gap between window and slab. This causes moisture ingress and poor operation of the flashing. The window should be removed and reinstalled to NCC codes with sill etc installed.</p>
BATHROOM(S)	Bathroom 1	Overall Condition	<p>#46. Aged renovate. Consult QBCC licensed builder.</p>
BATHROOM(S)	Bathroom 2	Shower And Bath	<p>#49. High moisture readings detected in cavity wall. Consult QBCC qualified waterproof specialist.</p>
BATHROOM(S)	Bathroom 2	Shower And Bath	<p>#50. High moisture readings in cavity wall. A flood and pressure test for the pipework and membrane should be conducted. Consult QBCC qualified plumber.</p>
TIMBER PEST FINDINGS	4. Timber Fungal Decay - Rot	Evidence of Wood Decay Fungi -Rot	<p>#52. Yes, in the following areas deck area. Area requires a treatment. Contact a license pest company.</p>

Summary Of Minor Defects

Below is a summary of defects other than Major defects.

The # denotes to the defect number in the report

Section	Location	Name	Comment
REPORT INFORMATION	Property Information	Construction Type	#1. The building has had asbestos used during its construction.
REPORT INFORMATION	Areas Where Full Inspection Restricted	Area Where Inspection Was Restricted	#3. Access to the decking area was restricted due to various factors including but not limited to vegetation, steep banks, low access etc
SITE	Driveway	Driveway Condition	#4. Common cracks & settlement were observed on the driveway. Note: Whilst these cracks appeared to be minor at the time of inspection, we strongly recommend you monitor these cracks and if worsening occurs contact a concreter for further advice.
SITE	Paths	Pathways Condition	#5. Common cracks and settlement were observed on paths. This may not have any effect on the actual structural integrity of the dwelling. Note: Whilst these cracks appeared to be minor at the time of inspection, we strongly recommend you monitor these cracks and if worsening occurs contact a concreter for further advice.
SITE	Paths	Pathways Condition	#6. Surface raised and settled in some areas. This can cause water ponding. Relaying recommended.
SITE	Surface Drainage	Drainage Findings	#7. There is evidence around the home that ponding has occurred. Recommendations: A qualified landscaping contractor or a plumber should be engaged for advice and recommendations.
SITE	Shed	Shed Condition	#8. Check for certification and council approval.
SITE	Pool	Pool	#9. Several cracks noted in pool surface. Consult a qualified pool specialist for advice.
SITE	Pool	Pool	#10. The expansion joint needs replacing. Contact a qualified tiler for advice.
SITE	Pool	Pool	#11. The coping is deteriorated around the pool. Consult a qualified tiler/paver for repair.
SITE	Pool	Pool	#13. NCC 2019 volume 3 plumbing code of Australis. Swimming Pool Drainage C2.1 Application (1) performance. Requirements CP2.1 and CP2.2 are satisfied by complying with C2.2 to 2.3; C.2 Invert levels (1). The invert level of a trap or gully weir must be a minimum of 10 mm higher than the soffit of the pipe to which it connects. C2.3 Swimming pool drainage (1) where pumped discharge from a swimming pool connects to a gully riser it must be installed in accordance with AS/NZS 3500.2

SITE	Pool	Pool	#14. The fence requires minor repairs. Consult QBCC licensed fencer.
SITE	Pool	Pool	#15. The pool is showing signs of surface deterioration. Consult QBCC licensed pool specialist.
SITE	Trees	Tree Findings	#16. Trees are overhanging roof areas. Recommendations: These should be cut back away from the roof line and gutters.
ROOF AND GUTTER	Roof Covering	General Disclaimer	#17. Height, weather conditions and other factors for safety may affect the inspection of the roof area. The decisions for safety is at the sole discretion of the building inspector. Refer to Section 2C of the Terms And conditions section of this report and in addition that the roof area will be Viewed where possible from a distance or a three rung ladder. The client acknowledges that Work Place Health and Safety Legislation both State and Federal for working at heights is a requirement by law and insurance conditions. This may restrict access to parts of the roof area. If the client requires further investigation of some areas of the roof area then they must engage a specialist who will ensure that all fall protection, safety harnesses and all legislation is followed as is a requirement by law. The client acknowledges that there may be defects in these areas that cannot be inspected by the building inspector at the time of the inspection.
ROOF AND GUTTER	Guttering	Gutter Findings	#19. Debris in guttering areas- this requires cleaning out to prevent blocking of down pipes and leaking into eaves and fascia. Recommendations: Have gutters cleaned and assessed by a plumber for adequate fall. Also regularly clean to prevent ponding. Ponding water will contribute to rust.
ROOF AND GUTTER	Down Pipes	Down Pipe Findings	#20. Down pipe/s not connected to storm water discharge - Down pipes not connected to storm water have the potential to cause differential settlement to the footings, cause rising damp and is also conducive to termite infestation. Recommendations: A qualified plumber should be engaged for advice and recommendations.
ROOF AND GUTTER	Down Pipes	Down Pipe Findings	#21. Hole in downpipe. Consult a plumber for repair/ replacement.
HOT WATER SYSTEM/ UNDERGROUND PIPE WORK	Water Tank	Water Tank Condition	#23. Overflow not connected to point of discharge - This can be conducive to termite infestation and if close to the home can cause differential settlement in the homes footings and associated damp related problems. Recommendations: Assessment conducted by a licensed plumber advised.
EXTERIOR	External Door Components	Door Findings	#24. The frame timber requires sanding and painting to seal from weather conditions.
EXTERIOR	Exterior Walls	Condition	#26. High moisture reading and moss evident, this could be due to a leak in a pipe or tap. Recommendation consult a qualified plumber for advice.
EXTERIOR	Rising Damp	Rising Damp Findings	#29. Salt residue & brick mortar deterioration on exterior wall visible - Further investigation required. Recommendations: A qualified damp proof course specialist should be engaged for advice and recommendations.

GARAGE - CARPORT - SHADE SAIL	Garaging	Ceiling Findings	#33. A repair has been completed.
GARAGE - CARPORT - SHADE SAIL	Shade Sails	Overall Condition	#34. Shade sails, car ports and roofed pergolas are considered under the national construction code and The Council as a 10a structure and as such requires council approval through a private certifier. Client should make all necessary requirements for certification.
STAIRS- PERGOLA- BALCONIES- DECKS, BALI HUT/ GAZEBOS	Decking Findings	Overall Condition	#36. Under the Building Act of 1975 a structure over 10 square meter, which include pergola, shade sails, decks etc need certification and approval. The client should check if certification and approval has been done.
STAIRS- PERGOLA- BALCONIES- DECKS, BALI HUT/ GAZEBOS	Decking Findings	Decking Timber	#38. Moisture damage was observed on deck boards - Recommendations: Evaluation and repairs by a qualified decking contractor.
STAIRS- PERGOLA- BALCONIES- DECKS, BALI HUT/ GAZEBOS	Pergola Findings	Overall Condition	#40. Shad sails, carports and roofed pergolas that are over 10 square meters are considered under the national construction code and The Council as a 10b structure and as such requires council approval through a private certifier. The Client should make all necessary requirements for certification.
STAIRS- PERGOLA- BALCONIES- DECKS, BALI HUT/ GAZEBOS	Pergola Findings	Overall Condition	#41. Paint deteriorated consult a QBCC licensed painter.
INTERIORS	Bedroom 1	Overall Condition	#44. Area of ceiling and wall shows signs of water damage. Mould evident. This is a health hazard. Contact a qualified tradesman for advice.
BATHROOM(S)	Bathroom 1	Shower And Bath	#47. Tile grout deterioration to tiles around the bath . Re-grout / seal. A qualified tiler should be engaged recommendations and repairs
BATHROOM(S)	Bathroom 2	Shower And Bath	#48. Re-caulking and re-grouting the shower floor may be required which is indicated by moisture readings on the outside of the hob. Consult a Waterproof specialist for advice.
ACCESS AND RESTRICTIONS	1.2 Timber Pest Activity	Where any major safety hazards identified	#51. Due the age of the property Asbestos may have been used in construction.
CONDUCTIVE CONDITIONS	5. Conducive Conditions to Timber Pests	Water leaks	#53. There was water leakage detected during the inspection that appeared to be emanating from the bathroom/shower recess. Recommendations: Engage a plumber to assess and rectify as soon as possible.
CONDUCTIVE CONDITIONS	5. Conducive Conditions to Timber Pests	Water leaks	#54. High moisture readings cavity wall.

CONDUCTIVE CONDITIONS	7. Areas Found Conductive To Termite Infestation	Conductive Areas Requiring Amendments	#55. Down pipes not connected to storm water. This causes moisture and excess moisture is conducive to termite infestation. The degree of risk is high. You need to engage a plumber to rectify.
CONDUCTIVE CONDITIONS	7. Areas Found Conductive To Termite Infestation	Conductive Areas Requiring Amendments	#56. Leaking bathroom This causes moisture and excess moisture is conducive to termite infestation. The degree of risk is high. You need to engage a plumber to rectify.
CONDUCTIVE CONDITIONS	7. Areas Found Conductive To Termite Infestation	Conductive Areas Requiring Amendments	#57. Poor drainage - There is water ponding against walls. This provides conducive conditions for termite infestation. The degree of risk is high. Engage plumber to rectify.
CONDUCTIVE CONDITIONS	7. Areas Found Conductive To Termite Infestation	Conductive Areas Requiring Amendments	#58. Tree/leafy environment: The house is located in a suburb which is high risk due to the environmental surrounds. It is close to large gum trees and parkland. The degree of risk is moderate to high and therefore a termite management plan/ treatment is strongly advised.
CONDUCTIVE CONDITIONS	7. Areas Found Conductive To Termite Infestation	Conductive Areas Requiring Amendments	#59. The fence is old and has rot and vegetation. This is conducive to termite infestation. Have cleaned out.
CONDUCTIVE CONDITIONS	7. Areas Found Conductive To Termite Infestation	Conductive Areas Requiring Amendments	#60. High moisture readings detected in cavity wall which is conducive to termites.

i REPORT INFORMATION

Weather at Inspection Area

Weather Conditions

The weather was Fine and Dry at the time of the building inspection.

Property Information

Building Type

The dwelling is a Residential House.

Construction Type

The wall cladding is Brick Veneer

#1. The building has had asbestos used during its construction.

Roof Cladding

Tile roofing

Too high to inspect



Roof Design

The roof is a Pitched roof design.

Footings Type

Slab On Ground Footing Construction.

Storeys

Single level dwelling

Property Occupied

The home was Not Occupied.

Property Furnished

The home was Partially Furnished.

People Present

The Estate Agent was present.

The Client was present.

The Tenant/s were present.

Mould observed.

#2. There is evidence of mould in the structure. Read report.



Areas Where Full Inspection Restricted

Areas Inspected

Building Exterior
 Building Interior
 Garage
 Roof Exterior
 Roof Void
 Site

Area Where Inspection Was Restricted

Building Exterior
 Building Interior
 Garage

Roof Void. There are areas of the roof which are restricted by way of legislation and this is made clear in the terms and conditions of the report and the terms and conditions that were sent prior to the inspection. The client acknowledges that there may be defects in this area of the building inspector is unable to inspect.

Roof Exterior. There are areas of the roof which cannot be inspected due to workplace health and safety regulations for working at height. There may be defects that are present in those areas. The client acknowledges that they understand the restrictions imposed by these restrictions.

Site

Subfloor. There are areas of the subfloor which cannot be inspected due to restrictions placed by legislation on workplace health and safety as to enter confined space. This is at the discretion of the building inspector solely and the client knowledge is that they understand the restrictions imposed upon inspecting these areas there may be defects present in those areas where the building inspectors unable to gain safe access..

Fence was restricted by and vegetation overgrowth.

#3. Access to the decking area was restricted due to various factors including but not limited to vegetation, steep banks, low access etc

Areas Not Inspected

Strata and Company title including common areas. This includes walls that fall in neighbouring yards.

Section within the subfloor

Inaccessible roof void sections due to access limitations and or insulation and ducting.

Cathedral Design in some areas. We are unable to access the roof void on flat roof, skillion or cathedral ceiling design dwellings. The only method of accessing is by removing roof cladding. We cannot comment on whether any defects exist between the roof cladding and the ceiling lining.

Sections of exterior roof, too high

Sections of site inaccessible.

Utility Status

Water

The water was Connected. All plumbing pipe installation should be assessed by a licensed plumber.

Electricity

Electricity to the dwelling was connected. Note: We do not carry out electrical inspections for wiring or safety. This must be carried out by a licensed electrician and I recommend you have all electrical wiring and components assessed by a licensed electrician. Electrical appliances and fixtures and fittings are not inspected as part of the building inspection.

Gas

Gas to the dwelling was connected. Note: We do not carry out gas inspections for safety. This must be carried out by a licensed gas plumber.

Apparent Concealment of possible defects

Were apparent Concealments seen

No apparent concealing of defects visible.

inspection Agreement

Were there any specific requirements to The Pre Inspection Agreement

The client and there representatives must read the entire report including each page which has important information regarding the inspection. No specific requirements to the Inspection or Pre inspection Agreement were requested by the client or their representatives. The client acknowledges that they accept that the terms and conditions of the inspection are at the sole discretion of the building and pest inspector. They also acknowledge that they understand that the safety of all persons is of the utmost responsibility to all parties involved.

Yes specific requirements were if the report has been commissioned by the seller and used to inform perspective buyers of the condition of the structure, then it is the responsibility of the seller or Realestate Agent to ensure that perspective buyers are supplied the terms and conditions that are supplied to those prospective buyers.

Other parties that have not been present during conversations between the building inspector and the person who commissioned the report and those conversations which contain important information concerning the condition of the structure should not solely rely on the report.

Prospective buyers should be aware that Mec Builders does not accept responsibility for the contents of the report for any other person than our own clients or take any responsibility for the contents of the report to other parties and there fiscal decisions wether to purchase or not.

Mec Builders encourages those buyers to obtain their own independent report and rely upon those reports and or conversations.

Building additions that have not been certified by all the necessary building approvals may have defects. Building additions and certifications are not the responsibility of the building inspector to ascertain whether these additions have been approved and certified by council. Structures that have been modified or additions it may be difficult to ascertain if those building additions or the internal layout of the home has been modified. It is the responsibility of the buyer and their conveyancer to ensure that all structures have been approved by the necessary authorities and all building compliance certified. When building addition's or conversions have been listed, there may be additional defects which may have been approved at the time of construction by other parties and the term check for council approval is designed to ensure that all necessary searches for compliance are undertaken.

Defects that are outlined in this report and the recommendations are the responsibility of the Client to obtain quotes and advice as to the cause and the cost to rectify those defects. When defects are identified it is the responsibility of the Client when consulting with the trades persons that are engaged to give opinions and or quotes that the trade persons do their own investigation of the defect with their own equipment and give written opinions concerning those defects. Any opinions by other trades persons as to the cause, or if they are unable to identify the defect is not the responsibility of the building and pest inspector to instruct those trades how to investigate the defects. The client should ensure that when obtaining opinions that they are in writing from trades persons that they ensure those persons give any valued opinions as to why they were unable to identify the defect.

All workplace health and safety regulations will be abide by during the building and pest inspection. This includes all legislation concerning working at height, into confined space and any other applicable legislation Requirements. The conduct for the building and pest inspection concerning workplace health and safety is at the sole discretion of the building inspector and no other person may instruct any person not to obey the workplace health and safety legislation. The client acknowledges that they understand these requirements. The client also acknowledges that they have read the terms and conditions issued by MEC Builders and to all requirements concerning roof access and roof void access and any limitations as required.

Client acknowledge that they do not yet own the property and cannot ask or direct any person to open locked areas, screwed shut or any area unless the homeowner gives express permission and it is the sole responsibility of the homeowner or the Real EstateAgent to open these areas for access to the building inspector. The client acknowledges that areas that have no access may have defects that cannot be assessed by the building inspector at the time of the inspection.



SITE

Driveway

Materials

The driveway is concrete.



Driveway Condition

#4. Common cracks & settlement were observed on the driveway. Note: Whilst these cracks appeared to be minor at the time of inspection, we strongly recommend you monitor these cracks and if worsening occurs contact a concreter for further advice.



Paths

Pathways Condition

#5. Common cracks and settlement were observed on paths. This may not have any effect on the actual structural integrity of the dwelling. Note: Whilst these cracks appeared to be minor at the time of inspection, we strongly recommend you monitor these cracks and if worsening occurs contact a concreter for further advice.

#6. Surface raised and settled in some areas. This can cause water ponding. Relaying recommended.



Fences & Gates

Overall Condition

There is vegetation/vines on fence which are very heavy. This should be removed as it will eventually pull the fence over.



Retaining Walls

Material

The retaining wall material is stone.

The retaining wall material is wood / timber.

**Overall Condition**

Of the visible areas, the general condition is serviceable or in reasonable condition for age of dwelling.

Surface Drainage**Drainage Findings**

#7. There is evidence around the home that ponding has occurred. Recommendations: A qualified landscaping contractor or a plumber should be engaged for advice and recommendations.



Drains

Can not locate to inspect



Shed

Shed Condition

The shed is in fair usable condition.

#8. Check for certification and council approval.

We do not inspect garden type sheds.





Pool

Pool

#9. Several cracks noted in pool surface. Consult a qualified pool specialist for advice.

#10. The expansion joint needs replacing. Contact a qualified tiler for advice.

#11. The coping is deteriorated around the pool. Consult a qualified tiler/paver for repair.

#12. There is no CPR sign displayed. Replace sign in a regulation approved position.

#13. NCC 2019 volume 3 plumbing code of Australis. Swimming Pool Drainage

C2.1 Application

(1) performance. Requirements CP2.1 and CP2.2 are satisfied by complying with C2.2 to 2.3;

C.2 Invert levels

(1). The invert level of a trap or gully weir must be a minimum of 10 mm higher than the soffit of the pipe to which it connects.

C2.3 Swimming pool drainage

(1) where pumped discharge from a swimming pool connects to a gully riser it must be installed in accordance with AS/NZS 3500.2

#14. The fence requires minor repairs. Consult QBCC licensed fencer.

#15. The pool is showing signs of surface deterioration. Consult QBCC licensed pool specialist.



Pontoon

Pontoon

The pontoon is serviceable at time of inspection. The building inspector can only carry out a visual inspection of the pontoon and does not claim to be an expert specialist in pontoons.



Trees

Tree Findings

#16. Trees are overhanging roof areas. Recommendations: These should be cut back away from the roof line and gutters.





ROOF AND GUTTER

Roof Covering

General Disclaimer

#17. Height, weather conditions and other factors for safety may affect the inspection of the roof area. The decisions for safety is at the sole discretion of the building inspector. Refer to Section 2C of the Terms And conditions section of this report and in addition that the roof area will be Viewed where possible from a distance or a three rung ladder. The client acknowledges that Work Place Health and Safety Legislation both State and Federal for working at heights is a requirement by law and insurance conditions. This may restrict access to parts of the roof area. If the client requires further investigation of some areas of the roof area then they must engage a specialist who will ensure that all fall protection, safety harnesses and all legislation is followed as is a requirement by law. The client acknowledges that there may be defects in these areas that cannot be inspected by the building inspector at the time of the inspection.

Roof Covering Type

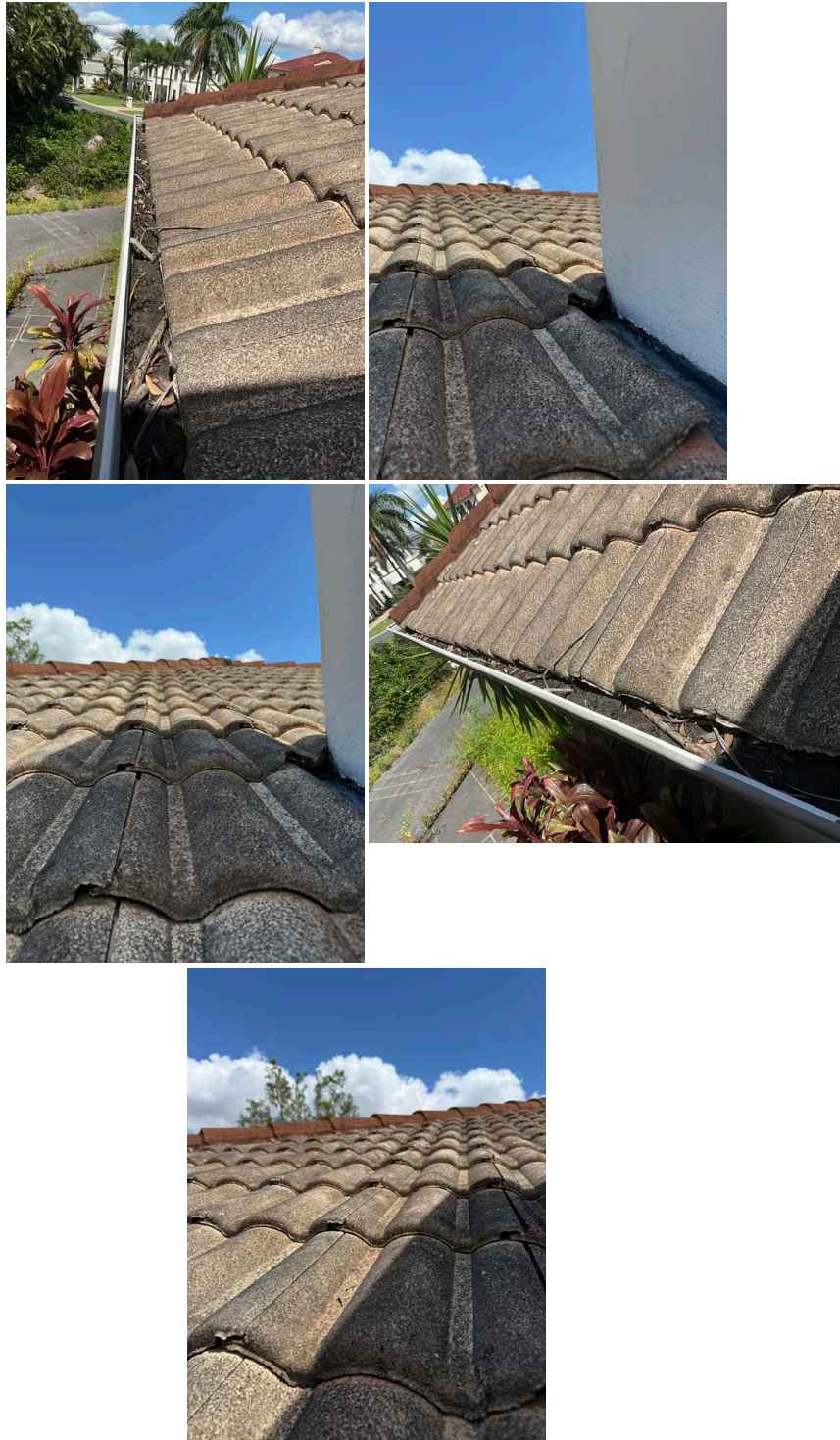
The roof is of concrete tiles.



Roof Clad Condition

#18. Deterioration & ageing evident. This includes all flashings fittings and roof penetrations. I recommend you contact a roof restorer to clean, seal, and repoint the mortar (not required on metal roofs).

Viewed where possible from a distance or a three rung ladder. The client acknowledges that they understand that working at heights is a requirement by legislation and that no physical working at height will be conducted as per the terms and conditions set out by workplace health and safety regulations both state and federal. If the client requires further investigation of Working at Heights for some areas of the roof area then they must engage a specialist who will ensure that all fall protection, safety harnesses and all legislation is followed as is a requirement by law.



Guttering

Gutter Findings

#19. Debris in guttering areas- this requires cleaning out to prevent blocking of down pipes and leaking into eaves and fascia. Recommendations: Have gutters cleaned and assessed by a plumber for adequate fall. Also regularly clean to prevent ponding. Ponding water will contribute to rust.



Down Pipes

Down Pipe Findings

#20. Down pipe/s not connected to storm water discharge - Down pipes not connected to storm water have the potential to cause differential settlement to the footings, cause rising damp and is also conducive to termite infestation. Recommendations: A qualified plumber should be engaged for advice and recommendations.

#21. Hole in downpipe. Consult a plumber for repair/replacement.





HOT WATER SYSTEM/ UNDERGROUND PIPE WORK

Hot Water Unit

Hot Water Unit Findings

The hot water system appears to be in a serviceable condition. No specific tests other than running the hot water from a tap was carried out. No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise.

Consult QBCC licensed plumber. All plumbing should be inspected by a licensed plumber.



External Plumbing Pipes/underground pipes

Plumbing Pipes/underground pipes

#22. Due to the age and configuration of the building a internal inspection by video of the pipe work should be conducted. Consult QBCC qualified plumber.

Water Tank

Water Tank Condition

#23. Overflow not connected to point of discharge - This can be conducive to termite infestation and if close to the home can cause differential settlement in the homes footings and associated damp related problems.

Recommendations: Assessment conducted by a licensed plumber advised.





EXTERIOR

Weep Holes and Ventilation

Findings

The weep holes are unobstructed .



External Door Components

Door Findings

#24. The frame timber requires sanding and painting to seal from weather conditions.



Exterior Walls

Exterior Wall Material

Brick

Rendered Masonry

Condition

Of areas visible, defects were visible that will require further assessment by a suitably qualified tradesperson in order to prevent further deterioration of the dwelling. Please read below for details.

#25. Cracks noted. Possible causes may be foundation movement. Support structure deflection. Thermal movement and moisture uptake or loss, failure under external loads. A structural engineer should be consulted for further evaluation and advice.

#26. High moisture reading and moss evident, this could be due to a leak in a pipe or tap. Recommendation consult a qualified plumber for advice.

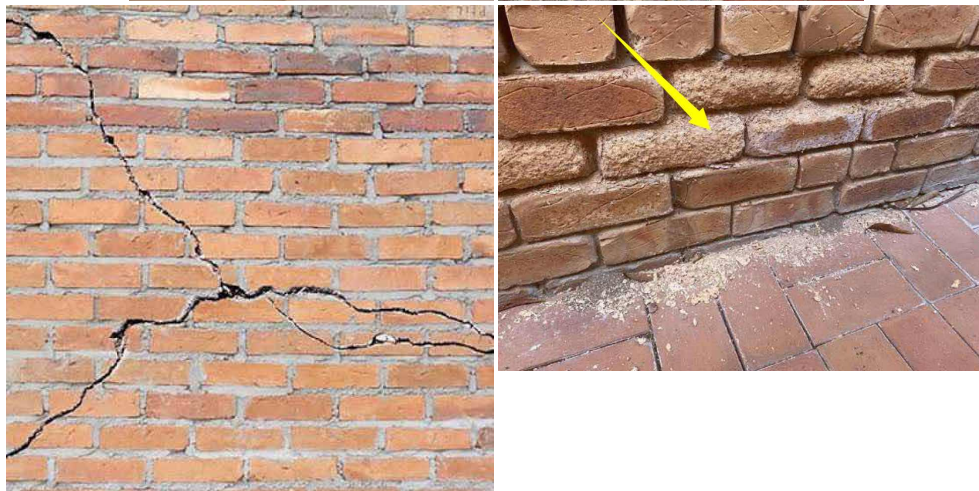
#27.

Brick spawling/cancer noted in some bricks.

BRICK SPAWLING.

Cancer/Spalling happens when moisture inside the brick expands and contracts due to temperature changes.

Have repaired by a licensed brick layer. This is urgent as bricks could crack and shatter causing structural subsidence of the dwelling . Contact a licenced rising damp specialist and licenced brick layer for advice.



Exterior Windows

Overall Condition

On visual inspection, the general condition of the windows area is serviceable for the age.

Rising Damp

Rising Damp Findings

#28. High moisture readings were to the exterior walls. We recommend a damp proof course specialist be engaged for further evaluation and repairs.

#29. Salt residue & brick mortar deterioration on exterior wall visible - Further investigation required. Recommendations: A qualified damp proof course specialist should be engaged for advice and recommendations.

#30. Evidence of rising damp issues. Consult QBCC qualified waterproof specialist.



Damp Proof Course

A damp proof course is not visible or could not be visually identified.

Eaves

Eave Condition

The eaves are in a serviceable condition with no notable defects.

Fascia and Barge Boards

Condition

On visual inspection, the general condition of the fascia/barge boards is serviceable.

Siding

Condition

#31. Timber decay (rot) visible. Recommendations: A qualified carpenter should be engaged to replace all affected timbers.



Porch/Portico

Overall Condition

Visible sections of the porch is serviceable or in reasonable or condition for the age of this dwelling.

Air Conditioner

Overall Condition

Defects exist to an area or component/s requiring assessment by a specialised field. Please read below for details.

See an air conditioner specialist. Inspections do not include aircon units.

Aircon units should be inspected by air conditioning specialist.





Condition defects

#32.

Air conditioning ductwork must be suspended in accordance with Australian standard 4254.1–2012 and the National construction code. Flexible ductwork should be supported horizontally every 1.5 m and vertically every 1.8 m.

The maximum sag between Support is 2.5 cm per 30 cm of horizontal run.

Long horizontal duct with sharp bends should have additional support.

The hanger or saddle material should be wide enough to prevent restricting the ducts internal diameter. A semi rigid fire resistant load distributing support material must be at least 75 mm wide.

Flexible ductwork Installed in subfloor site must be supported so that no part of the duct touches the ground. All flexible ductwork must be labelled flexible ductwork must extend straight for 100 mm from the connection to an air terminal device before changing direction.

Consult and air-conditioning specialist for rectification.





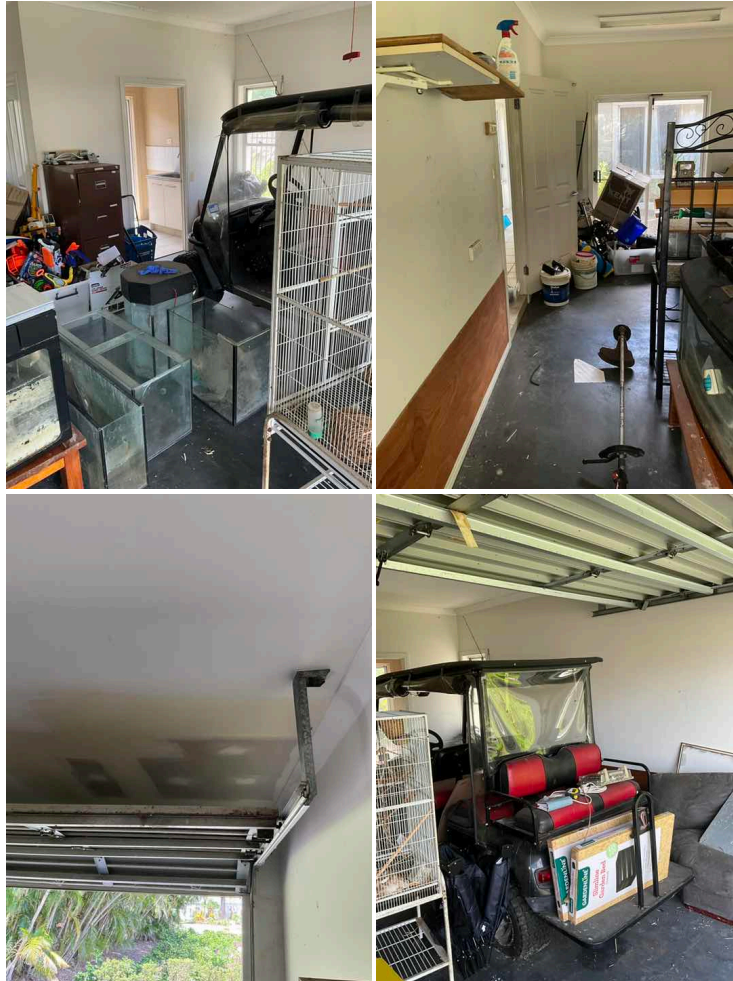


GARAGE - CARPORT - SHADE SAIL

Garaging

Type

Attached garage



Areas Restricted

Storage items restricted a full and thorough inspection of this area. Defects may exist in the inaccessible areas. It is strongly recommended that full access be granted to enable a thorough inspection as there may be timber pest activity, damage or defects. Note: Where vehicles and storage has restricted a full inspection it is advised that this area be cleared so a full and unobstructed inspection can be carried out.

Car in garage preventing full access.

Overall Condition

Of accessible and visible areas, the garaging is considered to be in a serviceable condition.

Roof And Gutter

Same as house. See house roof report.

Ceiling Findings

#33. A repair has been completed.



Shade Sails

Overall Condition

The overall condition of the shade sail is serviceable for the age.

#34. Shade sails, car ports and roofed pergolas are considered under the national construction code and The Council as a 10a structure and as such requires council approval through a private certifier. Client should make all necessary requirements for certification.





STAIRS- PERGOLA- BALCONIES-DECKS, BALI HUT/ GAZEBOS

Stairs & Steps

Overall Condition

On inspection, defects were noted that may require further assessment and recommendations by licensed tradesman.



Balustrade and Rails

#35. The stairs do not have an approved handrail. The National Construction Code of 2015 3.9.2.4 (a) Handrails to a Stairway must (1) be located along at least one side of a flight or ramp and, (2) be located along the full length of the flight or ramp (3) have a top surface of the handrail not less than 865 mm vertically above the treads . NCC 3.9.2.4 (b) If there is a winder or turn on the stairs a newel post or handrail is required . and AS 1657-2013. Every stairway will be provided with at least one handrail, where there is more than 5 stairs or the height is more than 1 meter and on a wind. Consult a qualified tradesman for advice.



Decking Findings

Overall Condition

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.

#36. Under the Building Act of 1975 a structure over 10 square meter, which include pergola, shade sails, decks etc need certification and approval. The client should check if certification and approval has been done.



Deck Framework

#37. Timber decay in section of bearers or joists. This is a safety hazard and repair is required. Recommendations: A qualified carpenter should be engaged to replace all affected timbers.



Decking Timber

#38. Moisture damage was observed on deck boards - Recommendations: Evaluation and repairs by a qualified decking contractor.



Balustrade and Rails

#39. Timber decay in areas of balustrade and/or rails. Recommendations: A qualified carpenter should be engaged for advice and recommendations. This is a safety issue and requires immediate assessment.

**General Disclaimer**

Please refer to section 2G of the Terms And Conditions section of this report.

Pergola Findings**Overall Condition**

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.

#40. Shad sails, carports and roofed pergolas that are over 10 square meters are considered under the national construction code and The Council as a 10b structure and as such requires council approval through a private certifier. The Client should make all necessary requirements for certification.

#41. Paint deteriorated consult a QBCC licensed painter.

#42. The pergola has numerous defects concerning construction which renders the structure to failure. Consult carpenter.



Alfresco Findings

Overall Condition

The Alfresco appear to be in a serviceable condition.

**General Disclaimer**

Please refer to section 2G of the Terms And Conditions section of this report.



INTERIORS

Doors

General Disclaimer

Please refer to section 2F of the Terms And Condition section of this report

Front Entry Doors

The doors are in serviceable condition with no notable defects observed.



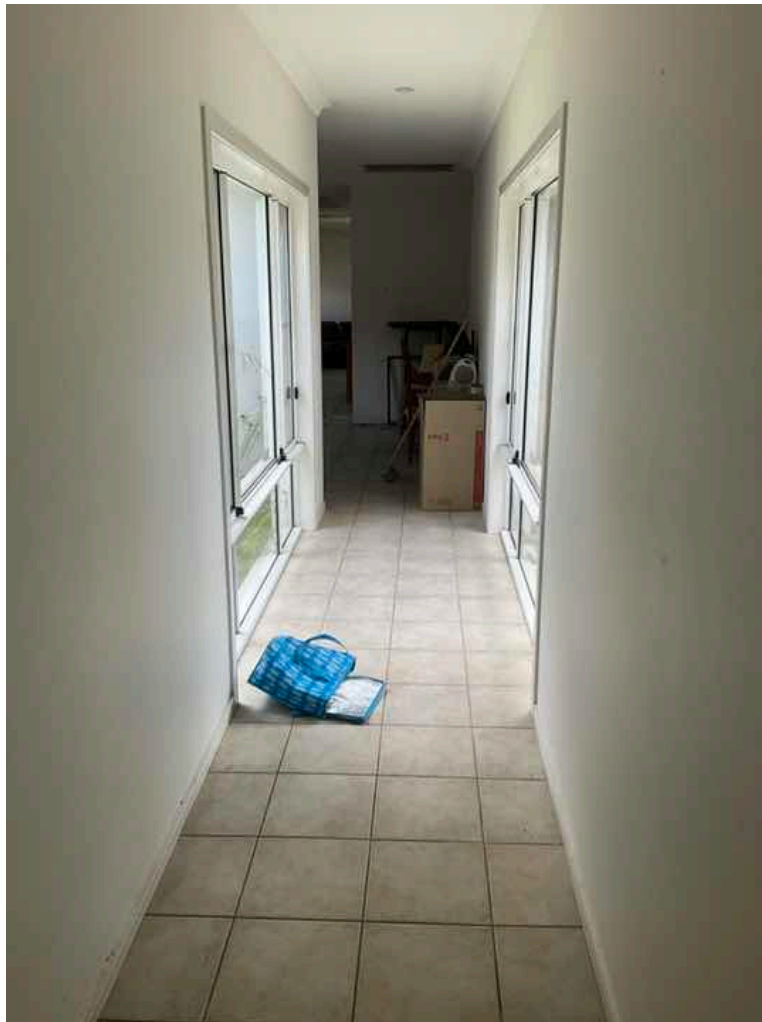
Other Doors

Other doors such as sliding , side entry etc.. appear to be in serviceable condition.

Hallways

Overall Condition

The hallway/s is in serviceable condition with no notable structural defects sighted.



Smoke Alarm

Was a Smoke Alarm Fitted

Yes a smoke alarm was sighted but not tested.

Smoke alarm legislation

#43. From 1 January 2022 new fire alarm and smoke detectors come into force.

Leased properties require that the new smoke detector legislation be followed.

Persons selling properties are required to issue a form 24 to ensure that all smoke detector legislation is followed.

The legislation requires a smoke detector in each bedroom.

Each smoke detector must be Wi-Fi to other smoke detectors.

A smoke detector must be located within 4 m of the bedrooms.

The smoke detectors must be hardwired or have a 10 year ionised battery.

The smoke detectors cannot be any older than 10 years of age.

The purchaser should insure that smoke detector legislation is followed.

APPEARS NON COMPLIANT.

Lounge Room

Overall Condition

The lounge room is in serviceable condition with no notable structural defects sighted.

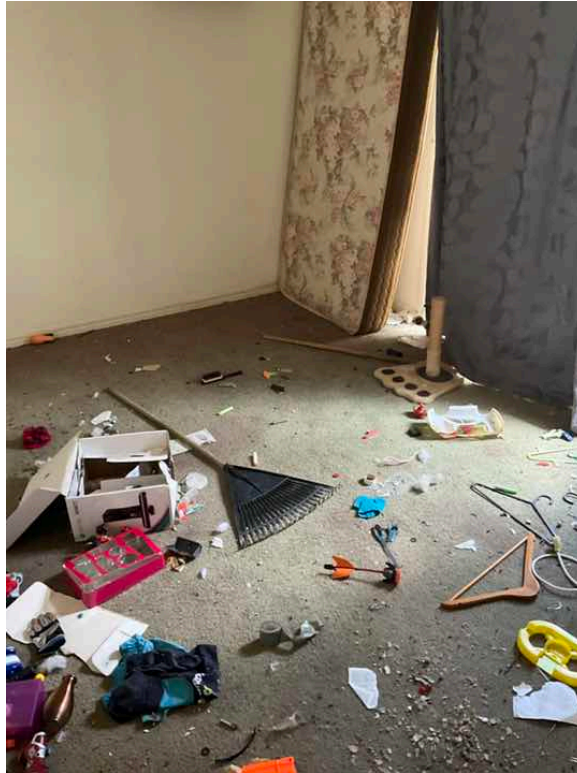


Bedroom 1

Overall Condition

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.

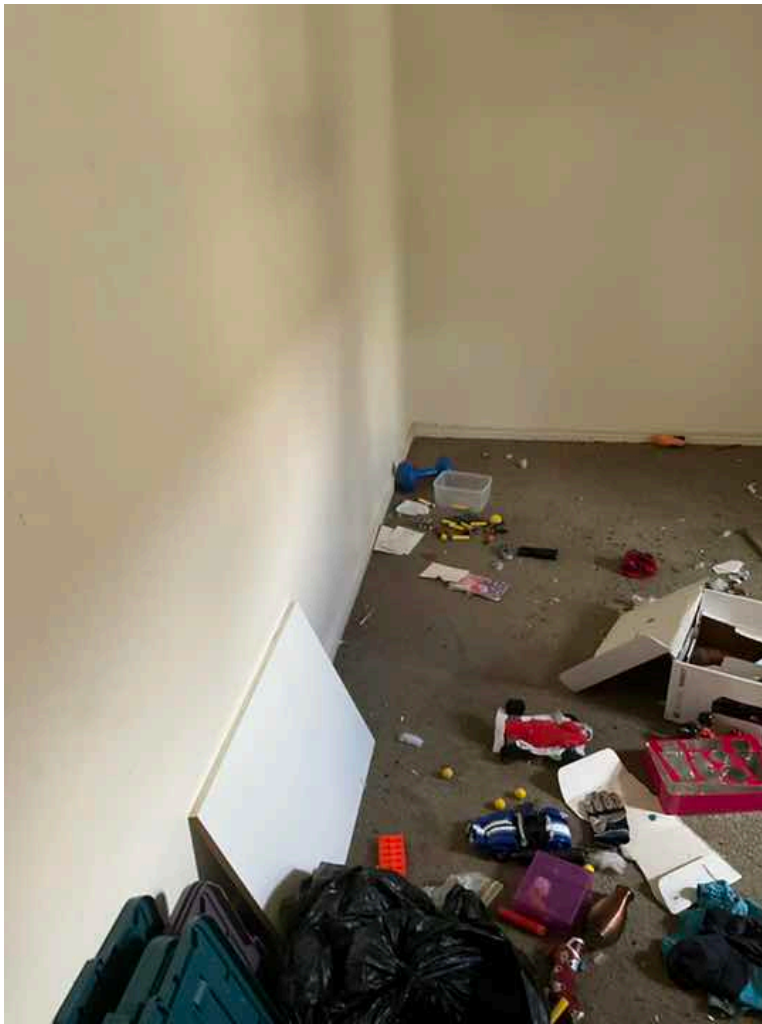
#44. Area of ceiling and wall shows signs of water damage. Mould evident. This is a health hazard. Contact a qualified tradesman for advice.



Bedroom 2

Overall Condition

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.



Windows

#45. The window has been installed with excessive cap between widow and slab. This causes moisture ingress and poor operation of the flashing. The window should be removed and reinstalled to NCC codes with sill etc installed.



Bedroom 3

Overall Condition

This Bedroom is in serviceable condition with no notable structural defects sighted.



Bedroom 4

Overall Condition

This Bedroom is in serviceable condition with no notable structural defects sighted.





BATHROOM(S)

Bathroom 1

Location

Hall



Overall Condition

#46. Aged renovate. Consult QBCC licensed builder.

Shower And Bath

#47. Tile grout deterioration to tiles around the bath . Re-grout / seal. A qualified tiler should be engaged recommendations and repairs



Bathroom 2

Location

Master bedroom



Overall Condition

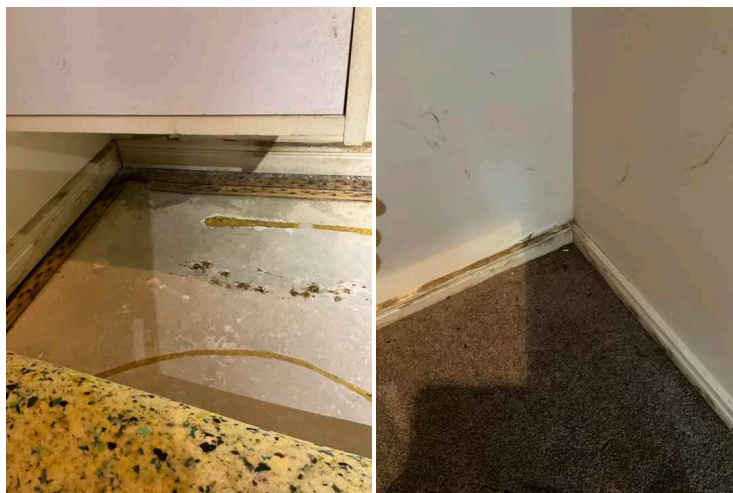
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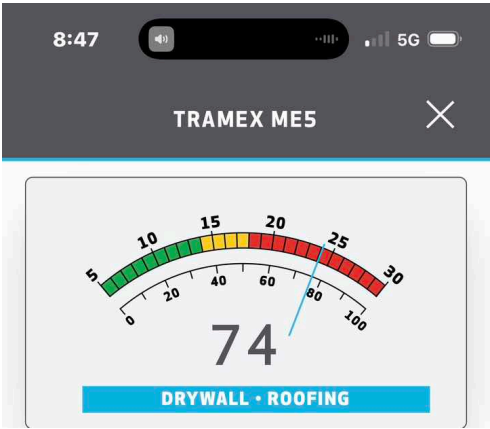
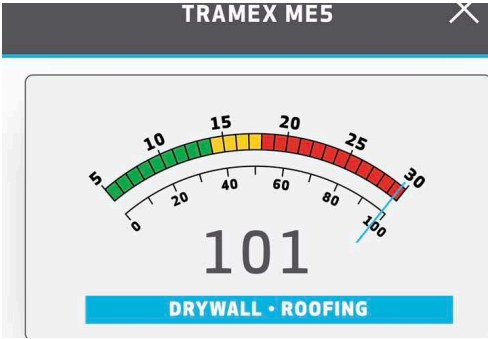
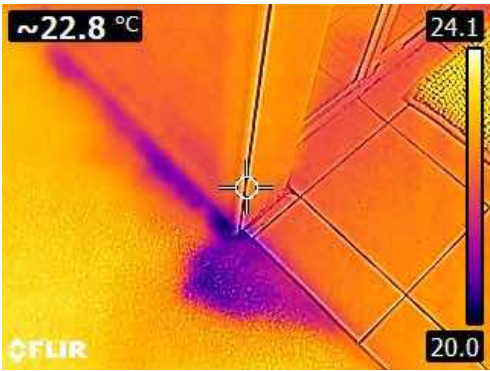
Shower And Bath

#48. Re-caulking and re-grouting the shower floor may be required which is indicated by moisture readings on the outside of the hob. Consult a Waterproof specialist for advice.

#49. High moisture readings detected in cavity wall. Consult QBCC qualified waterproof specialist.

#50. High moisture readings in cavity wall. A flood and pressure test for the pipework and membrane should be conducted. Consult QBCC qualified plumber.







KITCHEN & LAUNDRY

Kitchen and Meals Area

Overall Condition

Of the visible areas, the general condition is serviceable or in reasonable condition for age of dwelling.

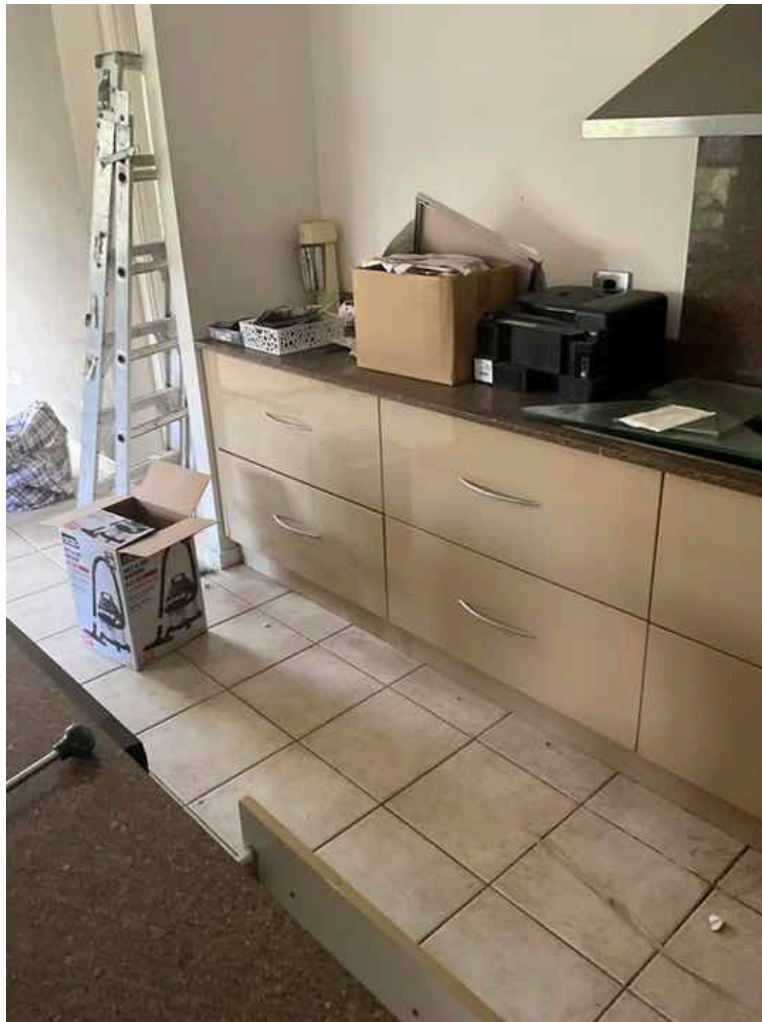


Laundry Findings

Restricted Areas

There is owners possessions, items in cupboards/under wash tub & personal belongings present which is preventing a thorough inspection of some areas of the laundry from being undertaken.

Appliances in the laundry restricted full and unobstructed view. Defects may exist behind same.

**Overall Condition**

Of the visible areas, the general condition of the laundry is serviceable.



ROOF VOID

Roof Void Findings

General Disclaimer

Access restriction-roof void (Queensland legislation).

As of 1 January 2025 new safety requirements for entering domestic roof spaces under Queensland legislation now apply. Compliance with these requirements is mandatory and restrict entry due to proper safety protocol, supervision or isolation procedures must be confirmed and implemented. As such inspection of the roof was not carried out in accordance with these legislative requirements. A limited inspection from the service area was conducted unless otherwise stated.

The client acknowledges that such access limitations are outside the control of the inspector and agree that no liability will be accepted for any defects or conditions not visible or accessible due to these legislative requirements.

Restricted Areas

There is heating and/or cooling ducting present in the roof space/void. This is preventing a full inspection from being undertaken.

There is low clearance in areas throughout the roof void which is preventing a full/thorough visual inspection taking place. It is strongly recommended that full access be granted to enable a thorough inspection to take place as it could be harbouring timber pest activity, damage or defects.

Access restriction-roof void (Queensland legislation).

As of 1 January 2025 new safety requirements for entering domestic roof spaces under Queensland legislation now apply. Compliance with these requirements is mandatory and restrict entry due to proper safety protocol, supervision or isolation procedures must be confirmed and implemented. As such inspection of the roof was not carried out in accordance with these legislative requirements. A limited inspection from the service area was conducted unless otherwise stated.

The client acknowledges that such access limitations are outside the control of the inspector and agree that no liability will be accepted for any defects or conditions not visible or accessible due to these legislative requirements.

There is sarking present in the roof space/void. This is preventing a full inspection from being undertaken.

Inspection are limited when asbestos is in enclosed area.



**Roof Frame Type**

The roof frame is a truss frame.

Overall Condition

Visible sections of the roof void is in a serviceable condition for age of this dwelling.

Insulation**Type**

No insulation installed. Recommendations: Engage insulation contractor to assess.

Sarking

Sarking is installed.



SUBFLOOR UNDER HOUSE

Sub-Floor Observation.

General Condition

No full access was made to be able to sufficiently assess this area. Of areas accessible and visible, the subfloor and components appeared to be in a serviceable condition. There are areas of the subfloor that will not be inspected as per the restrictions of workplace health and safety limitations of confined space. The inspection of the subfloor and areas which may be considered too low, storage, too wet or considered unsafe is that the sole discretion of the building inspector at the time of the inspection. The client acknowledges that there may be defects present in areas of which the building inspector is unable to inspect.



SUBFLOOR INSIDE PROPERTY

Access and Restrictions

Restricted Areas

Inspection could not be conducted as there was no access to the inside subfloor this is common to most structures.

LIST OF MAJOR DEFECTS, MINOR DEFECTS AND IMPORTANT CLIENT

Condition Of Inspected Structure and important client information.

The incidence of Major Defects

The incidence of major defects in this residential building as compared with similar buildings is considered HIGH

Please refer to the Conclusion section of this report for further clarification and definition.

Important information and Minor Defects

The incidence of minor defects in this residential building as compared with similar buildings is considered HIGH

Please refer to the Conclusion section of this report for further clarification and definition.

The Overall Condition Of This Dwelling

The overall condition of this residential dwelling in the context of its age, type and general expectations of similar properties is BELOW AVERAGE

Please refer to the Conclusion section of this report for further clarification and definition.

Please refer to the TERMS AND CONDITIONS section of this report for definition



TIMBER PEST INSPECTION

Please note that this inspection and report was a Visual only inspection to the readily accessible areas of the property as defined within the terms and conditions of this report.

Please ensure that you read all sections of the report as well as the additional information at the rear of the report and understand the limitations and the special recommendations for this construction style. If there is something you do not understand or require further clarification. Please contact the Inspector.

IMPORTANT NOTE:

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

The Summary is not the Report. The following Report must be read in full in conjunction with the Summary. If there is a discrepancy between the information provided in the Summary and that contained within the body of the Report, the information in the body of the Report shall override the Summary.



ACCESS AND RESTRICTIONS

Note

Inspection Information

For the purpose of visual timber pest inspection this timber pest inspection report which form part of a combined timber pest and building inspection.

The inspection information listed at the beginning of the building inspection report namely report information shall apply. Including the date and time of inspection, agreement number, who the report is prepared for and the description of the property inspected. THIS IS A VISUAL INSPECTION ONLY in accord with the requirements of AS4349.3-2010 - Inspection of buildings Part 3: Timber Pest Inspections.

Summary Only

Important Disclaimer

Important disclaimer

This summary and the opinion is supplied to allow a quick and superficial overview of the inspection results. This summary is not the report and cannot be relied upon on its own. This summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the report and anything in this summary, the information in the report shall override that in this summary. The report is subject to terms and limitations.

Note: It is essential that you read the entire report; other inspectors may have and are entitled to different opinions in relation to this dwelling.

Note: This report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential

1.1 Access to Areas

Areas where Access Should be Gained

Yes. Please read the report in its entirety

1.2 Timber Pest Activity

Was there any Termite Workings or Damage Found

Yes - Read this report in its entirety.



**Were Any Live or Active Termites Found**

No. Please read the report in its entirety

NOTE

Note: Any evidence of termite activity or workings in the grounds or building structure assumes that risk to buildings is very high. We strongly recommend a treatment to eradicate the termites and to protect the building.

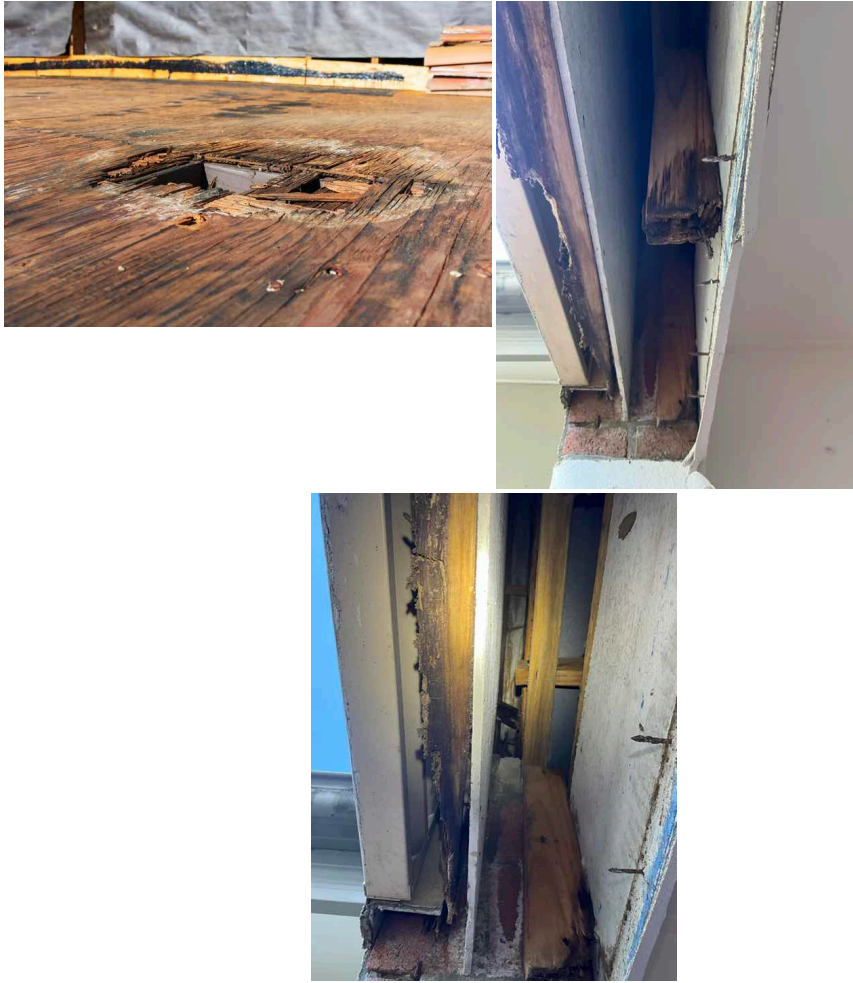
Any Visible Borer of seasoned Timbers Found

No - Of the areas able to be inspected there were no borer or borer damage visible. Please read this report in its entirety.

Any Damage caused by Wood Decay, Rot Found

Yes - Read this report in its entirety.





NOTE

For complete and accurate information please refer to the attached complete visual timber pest report, provided in accord with as 4349.3

Are further inspections recommended

YES - read this report in its entirety.

Where any major safety hazards identified

#51. Due the age of the property Asbestos may have been used in construction.

1.3 Brief Description of the Structure Inspected

Building Type

Free Standing Domestic House

Height

Single Storey

Floor

The floor is of a concrete Slab on Ground

Walls

Gypsym Lined Walls

Garage

Attached

Roof

Pitched Tile

Fences

The fences are a combination of colourbond and timber

Out Buildings

Shed,

Terms and Limitations**Important Information**

Any person who relies upon the contents of this report does so acknowledging that the following clauses which define the scope and limitations of the inspection form an integral part of the report.

1. This is a visual inspection only in accord with the requirements of as 4349.3 Inspection of buildings part 3: Timber pest inspections. This visual inspection was limited to those areas and sections of the property to which reasonable access (see definition) was both available and permitted on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, in other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. An invasive inspection will not be performed unless a separate contract is entered into. In an occupied property it must be understood that furnishings or household items may be concealing evidence of timber pests which may only be revealed when the items are moved or removed. In the case of strata type properties only the interior of the unit is inspected.

2. Scope of report: This report is confined to reporting on the discovery, or non-discovery, of infestation and/or damage caused by subterranean and dampwood termites (white ants), borers of seasoned timber and wood decay fungi (hereinafter referred to as "timber pests"), present on the date of the inspection. The inspection did not cover any other pests and this report does not comment on them. Dry wood termites (family: Kalotermitidae) and european house borer (hylotrupes bujulus linnaeus) were excluded from the inspection, but have been reported on if, in the course of the inspection, any visual evidence of infestation happened to be found. If cryptotermes brevis (west indian dry wood termite) or hylotrupes bujulus linnaeus are discovered we are required by law to notify government authorities. If reported a special purpose report may be necessary.

3. Hidden damage: If timber pest activity and/or damage is found, within the structures or the grounds of the property, then damage may exist in concealed areas, eg framing timbers. An invasive inspection is strongly recommended in this case. Damage may only be found when wall linings, cladding or insulation are removed to reveal previously concealed timbers.

4. Limitations: Nothing contained in the report implies that any inaccessible or partly inaccessible areas or sections of the property being inspected by the inspector on the date of the inspection were not, or have not been, infested by timber pests. Accordingly this report is not a guarantee that an infestation and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. Nor is it a guarantee that a future infestation of timber pests will not occur or be found.

5. Determining extent of damage: The report is not a structural damage report. Any observations or recommendations about timber damage should not be taken as expert opinion and cannot be relied upon. The report will not state the full extent of any timber pest damage. The report will state timber damage found as 'slight', 'moderate', 'moderate to extensive' or 'extensive'. This information is not the opinion of an expert. If any evidence of timber pest activity and/or damage resulting from timber pest activity is reported either in the structure(s) or the grounds of the property, then you must assume that there may be concealed structural damage within the building(s). This concealed damage may only be found when wall linings, cladding or insulation is removed to reveal previously concealed timbers. An invasive timber pest inspection (for which a separate contract is required) is strongly recommended and you should arrange for a separate inspection by a qualified builder, engineer, or architect to carry out a structural inspection and to determine the full extent of the damage and the extent of repairs that may be required. You agree that neither we nor the individual conducting the inspection is responsible or liable for the repair of any damage whether disclosed by the report or not.

6. Mould: Mildew and non-wood decay fungi is commonly known as mould and is not considered a timber pest. However, mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the property and

No report on the presence or absence of mould is provided. Should any evidence of mould happen to be noticed during the inspection, it will be noted in the other information (5.11) Section of this report. If mould is noted as present within the property and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local council, state or commonwealth government health department or a qualified expert such as an industry hygienist.

7. Disclaimer of liability: No liability shall be accepted on account of failure of the report to notify any termite activity and/or damage present at or prior to the date of the report in any areas(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the licensed inspector (including but not limited to any area(s) or section(s) so specified by the report).

8. Disclaimer of liability to third parties: Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Any third party acting or relying on this report, in whole or in part, does so entirely at their own risk.

9. Complaints procedure: In the event of any dispute or claim arising out of, or relating to the inspection or the report, you must notify us as soon as possible of the dispute or claim by email, fax or mail. You must allow us (which includes persons nominated by us) to visit the property (which visit must occur within twenty eight (28) days of your notification to us) and give us full access in order that we may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If you are not satisfied with our response you must within twenty one (21) days of your receipt of our written response refer the matter to a mediator nominated by us from the institute of arbitrators and mediators of australia. The cost of the mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The institute of arbitrators and mediators of australia will appoint an arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of the arbitrator, will proceed in the following manner:

A) the parties must submit all written submissions and evidence to the arbitrator within twenty one (21) days of the appointment of the arbitrator; and

(B) the arbitration will be held within twenty one (21) days of the arbitrator receiving the written submissions.

The arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs. The decision of the arbitrator is final and binding on both parties. Should the arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty one (21) days of the order.

In the event you do not comply with the above complaints procedure and commence litigation against us then you agree to fully indemnify us against any awards, costs, legal fees and expenses incurred by us in having your litigation set aside or adjourned to permit the foregoing complaints procedure to complete.

9. Complaint investigation: In the event any litigation is started as a result of the inspection and/or report, you indemnify us against any legal fees and expenses incurred where you have not first allowed us the opportunity to visit the property to investigate the complaint and provide you with a written response within 28 days.

2. Visual Timber Pest Inspection Report

Important Information

For complete and accurate information please refer to the attached complete visual timber pest report, provided in accord with as 4349.3

2.1 Brief Description of Areas Inspected

NOTE

Only structures, fences & or trees within 30m of the building but within the property boundaries were inspected.

The areas inspected were

- Exterior
- Fences
- Garage
- Grounds
- Interior
- Outbuildings
- Retaining Walls
- Roof Void
- Under deck

2.2 Areas Not Inspected

Please Note

No inspection was made, and no report is submitted, of inaccessible areas. These include, but may not be limited to, cavity walls, concealed frame timbers, eaves, flat roofs, fully enclosed patios sub-floors, soil concealed by concrete floors, fireplace hearths, wall linings, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks/posts, etc.

Unable to Inspect

Roof void sections were not visible.

Sections in the exterior could not be inspected to inaccessibility.

Strata and Company title including common areas. This includes walls that fall in neighbouring yards.

Roof sections unable to be inspected as too high.

2.3 Reasonable Access Areas Not Available and Why

Roof Void Because

Heating and/or cooling ducts restricted an entire inspection to some areas of the roof space.

Low clearance in sections of roof void restricted reasonable access to the roof space.

Access restriction-roof void (Queensland legislation).

Access to the roof was not possible at the time of inspection. As of 1 January 2025 new safety requirements for entering domestic roof spaces under Queensland legislation now apply. Compliance with these requirements is mandatory and restrict entry due to proper safety protocol, supervision or isolation procedures must be confirmed and implemented. As such inspection of the roof was not carried out in accordance with these legislative requirements. A limited inspection from the service area was conducted unless otherwise stated.

The client acknowledges that such access limitations are outside the control of the inspector and agree that no liability will be accepted for any defects or conditions not visible or accessible due to these legislative requirements.

Sarking

Safely enter with asbestos present.

Reasonable Access

Note: The Australian standard AS 3660 refers to AS 4349.3-2010 which defines reasonable access. Access will not be available where there are safety concerns, or obstructions, or the space available is less than the following: Subfloor - Access is normally not available where dimensions are less than 500mm x 400mm for the access hole and less than 400mm of crawl space beneath the lowest bearer, or, less than 500mm beneath the lowest part of any concrete floor.

It is strongly recommended that full access be granted to enable a thorough inspection to take place as it could be harboring timber pest activity and/or damage.

Please note since a complete inspection of the above areas was not possible, timber pest activity and/or damage may exist in these areas.

It is strongly recommended that full access be granted to enable a thorough inspection to take place as it could be harboring timber pest activity and/or damage.

2.4 Areas of Visual Inspection obstructed and why

Areas Obstructed

There is low clearance in areas throughout the roof void which is preventing a full/thorough visual inspection taking place. It is strongly recommended that full access be granted to enable a thorough inspection, and could be harbouring timber pest activity and/or damage.

Strata areas are not part of the inspection process.

Please Note

Please note since a complete inspection of the above areas was not possible, timber pest activity and/or damage may exist in these areas.

2.6 House furnishings**Please Note**

Where a property is furnished at the time of the inspection then you must understand that the furnishings and stored goods may be concealing evidence of timber pest activity. This evidence may only be revealed when the property is vacated. A further inspection of the vacant property is strongly recommended in this case.

No inspection was made and no report is submitted, of inaccessible areas. If a complete inspection of the areas in the dwelling was not possible, termite activity and/or damage may exist in these areas and nothing in this report implies that any inaccessible or partly inaccessible areas or sections of the property being inspected by me on the date of the inspection were not, or have not been infested by timber pests.

Accordingly, this report is does not report on inaccessible areas. This includes but may not be limited to concealed frame timbers, eaves, areas concealed by concrete floors, wall linings, soil, landscaping, rubbish, floor coverings (carpet lino etc.), Furniture, pictures, appliances (dishwashers, refrigerators, washing machines, ovens, microwave ovens, heating and cooling units etc.), Stored items (clothes on floor, boxes on floor and against walls, beds against walls and the like), insulation, hollow blocks/columns/posts/poles or other architectural hollow structures. Furnishings found at this dwelling were not inspected and do not form part of this inspection.

Was the dwelling Furnished

The dwelling was partialy furnished.



TIMBER PEST FINDINGS

3. Subterranean Termites

Were Active or Live Termites Visible

No. Of the visible and accessible areas inspected, there were no visible termites found at the time of the inspection.

3.1 Termite Nests

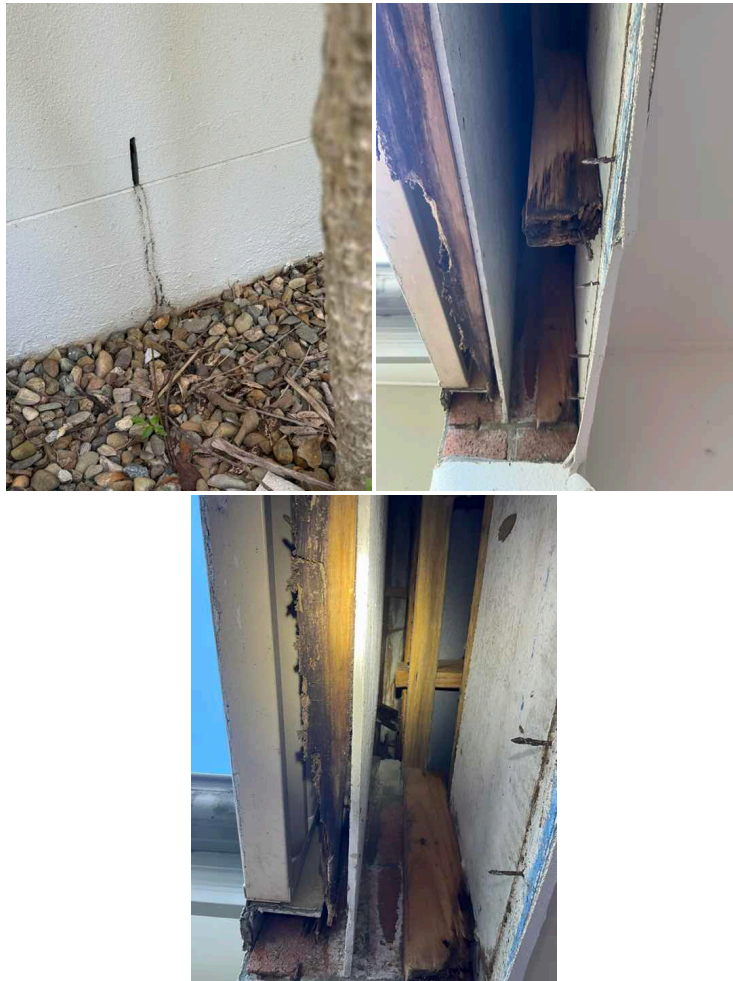
Was a Termite Nest Found

No termite nests found at time of inspection.

3.2 Subterranean Termite Damage or workings

Any workings or damage found

Yes, termite damage was found in the following



Please Note

Where evidence of termite activity was found in the grounds then the risk to buildings is very high. A treatment to eradicate the termites and to protect the building(s) should be carried out. Where the evidence of termite workings was found in the grounds or the building(s) then the risk of a further attack is very high.

Was any evidence of timber damage visible

Yes

We claim no expertise in building and if any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

If damage is visible does it present a safety risk

No

Important Note: Where a Major Safety Hazard is identified above, it must be attended to and/or rectified to avoid the possibility of personal injury &/or death.

VERY Important:

If live termites or any evidence of termite workings or damage was reported above within the building(s) or in the ground and fences then it must be assumed that there may be concealed termite activity and/or timber damage. This concealed activity or damage may only be found when alterations are carried out such as when wall linings, cladding or insulation are removed or if you arrange for an invasive inspection. We claim no expertise in structural engineering or building. We strongly recommend that you have a qualified person such as a Builder, Engineer, Architect or other qualified expert in the building trade determine the full extent of the damage, if any. This may require an invasive inspection. We take no responsibility for the repair of any damage whether disclosed by this report or not. (See Terms & Limitations).

Where visual evidence of termite workings and/or damage is reported above, but no live termites were present at the time of inspection, you must realize that it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without benefit of further investigation and a number of inspections over a period of time, to ascertain whether any infestation is active or inactive. Active termites may simply have not been present at the time of inspection due to a prior disturbance, climatic conditions, or they may have been utilizing an alternative feeding source. Continued, regular, inspections are essential. Unless written evidence of a termite protection program in accord with "Australian Standard 3660" with ongoing inspections is provided, you must arrange for a treatment in accord with "Australian Standard 3660" to be carried out immediately to reduce the risk of further attack.

General remarks: A more thorough INVASIVE INSPECTION is available (refer to section 9). Where any current visible evidence of Timber Pest activity is found it is strongly recommended that a more invasive inspection is performed. Trees and stumps on the property with a diameter more than 100mm have been visually inspected for evidence of termite activity to a height of 2m where access was possible and practical. It is very difficult, and generally impossible to locate termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of termite nests.

3.3 Any Evidence of a Previous Termite Treatment**Any Evidence of previous Treatments Found**

A durable notice.



Warning

Warning: If evidence of drill holes in concrete or brickwork or other signs of a possible previous treatment are reported then the treatment was probably carried out because of an active termite attack. Extensive structural damage may exist in concealed areas. You should have an invasive inspection carried out and have a builder determine the full extent of any damage and the estimated cost of repairs as the damage may only be found when wall linings etc. are removed. Normally if a termite treatment has been carried out then a durable notice should be located in the meter box indicating the type of termite shield system, treated zone or combination has been installed.

3.4. Borer

Borer Information

Borer information: *Lyctus brunneus* (powder post beetle) is not considered a significant pest of timber. Damage is confined to the sapwood so treatment or timber replacement is not usually required. However, you should have a building expert investigate if any timber replacement is required.

Anobium punctatum (furniture beetle) and *calymmaderus incisus* (queensland pine beetle) must always be considered active, unless proof of treatment is provided, because, unless the timber is ground up, one cannot determine conclusively if activity has ceased. Total timber replacement of all susceptible timbers is recommended. A secondary choice is treatment. However, the evidence and damage will remain and the treatment may need to be carried out each year for up to three years.

Was Visible Evidence of Borer Found

No

Please Note

If any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (see terms & limitations). Borer activity is usually determined by the presence of exit holes and/or frass. Since a delay exists between the time of initial infestation and the appearance of these signs, it is possible that some borer activity may exist that is not discernible at the time of inspection.

3.5. Borer Recommendations

Borer Recommendations

No treatment recommended at this stage.

4. Timber Fungal Decay - Rot

Evidence of Wood Decay Fungi -Rot

#52. Yes, in the following areas deck area. Area requires a treatment. Contact a license pest company.



Extent of Damage Caused by Rot

If any evidence of fungal decay or damage is reported you should consult a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (see terms & limitations).

Does the damage present a Major Safety Hazard

Important Note: Where a Major Safety Hazard is identified above, it must be attended to and/or rectified to avoid the possibility of personal injury &/or death.

We claim no expertise in building and if any evidence of fungal decay or damage is reported you should consult a building expert to determine the full extent of damage and the estimated cost of repairs or timber replacement.

CONDUCTIVE CONDITIONS

5. Conductive Conditions to Timber Pests

Water leaks

#53. There was water leakage detected during the inspection that appeared to be emanating from the bathroom/shower recess. Recommendations: Engage a plumber to assess and rectify as soon as possible.

Down pipe/s not connected to storm water.

Water tank leak

Roof leak.

Bedroom leak

There is water ponding around structure of building.

#54. High moisture readings cavity wall.

Please Note

Water leaks, especially in or into the sub-floor or against the external walls ie: Leaking taps, water tanks or down pipes and or guttering, increases the likelihood of termite attack. Leaking showers or leaks from other „wet areas“ also increase the likelihood of concealed termite attack. These conditions are also conducive to borer activity and wood decay.

If any leaks were reported then you must have a plumber or other building expert to determine the full extent of damage and the estimated cost of repairs.

5.1 Hot Water Unit Overflow

Please Note

Hot water services and air conditioning units which release water alongside or near to building walls need to be connected to a drain (if this is not possible then their water outlet needs to be piped several meters away from the building) as the resulting wet area is highly conducive to termites.

Water tanks should not leak and the overflow should be adequately connected to storm water. A plumber should be engaged if the water tank overflow is not connected to storm water.

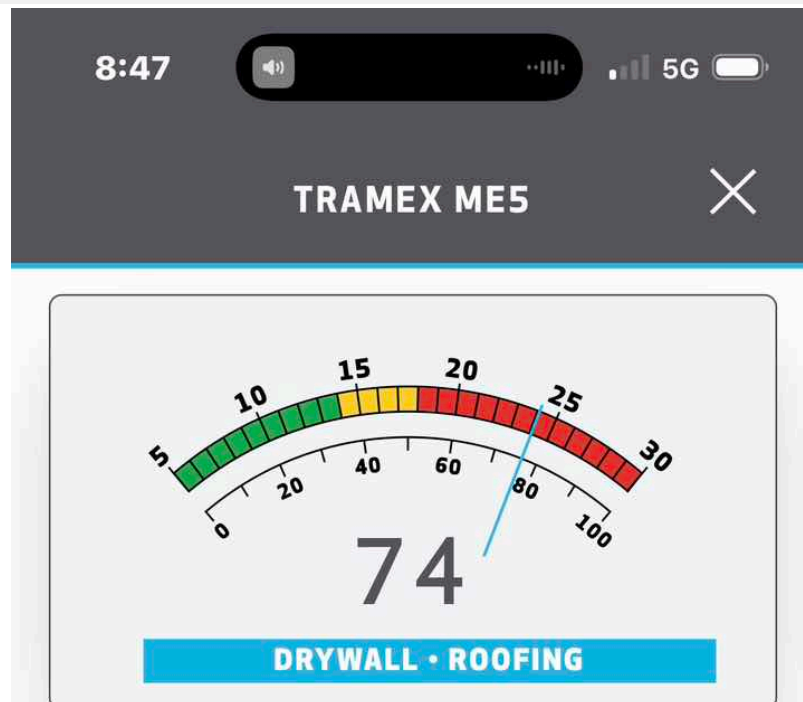
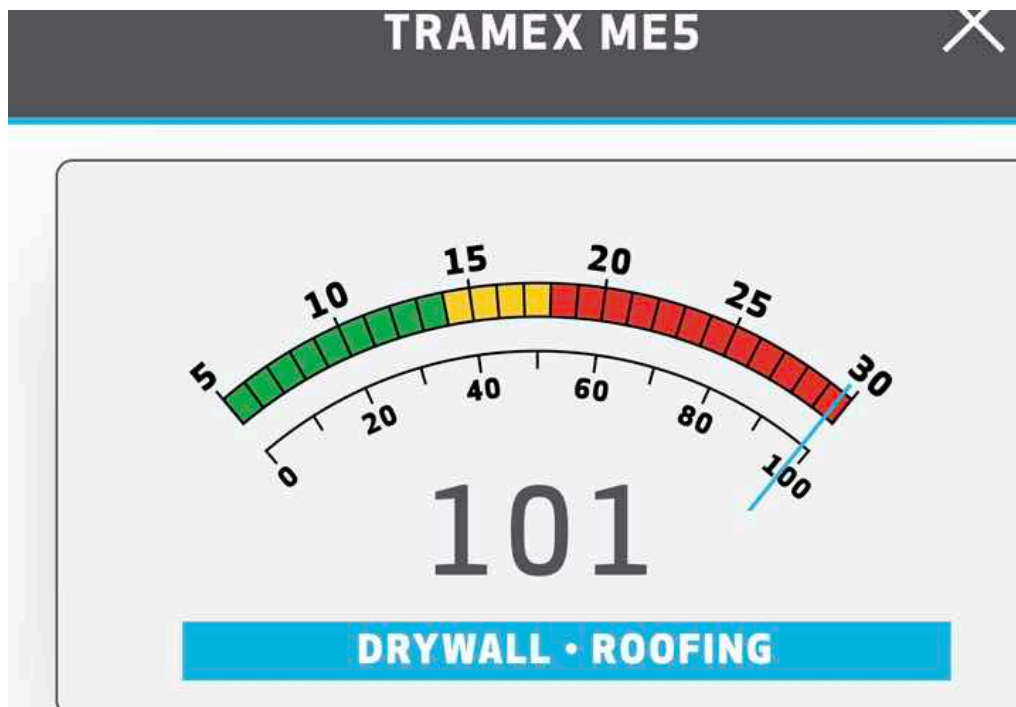
Was the Air Conditioner Sufficiently Drained

Could not locate the evaporation exhaust pipe.

5.2 Moisture Readings

Was there any Excessive Moisture Readings

At the time of the inspection moisture readings were high



Please Note

High moisture readings can be caused by any one of the following: Poor ventilation, ineffective drainage, leaking pipes, leaking roofs, defective flashing or by concealed termite activity. The areas of high moisture should be investigated by way of an invasive inspection. If high moisture was reported then you must have a building expert investigate the moisture and its cause and determine the full extent of damage and the estimated cost of repairs.

Equipment Of Moisture detection used

Tramex Encounter Moisture Meter

If high moisture was reported then you must have a building expert investigate the moisture and its cause and determine the full extent of damage and the estimated cost of repairs.

5.4 Slab Edge Exposure

Is the Slab Edge adequately Exposed

No. Slab edge could be exposed a minimum of 75mm.



5.5 Weep Holes and Sub Floor Vents

Were the weep holes Clear of debris

No. The weep holes were obstructed

Were the vents clear

Not applicable.

Please Note

It is very important that soil, lawn, concrete paths or pavers do not cover the weep holes. Sometimes they have been covered during the rendering of the brick work. They should be clean and free flowing. Covering the weep holes in part or in whole may allow undetected termite entry.

7. Areas Found Conducive To Termite Infestation

Conductive Areas Requiring Amendments

#55. Down pipes not connected to storm water. This causes moisture and excess moisture is conducive to termite infestation. The degree of risk is high. You need to engage a plumber to rectify.

Leaking down pipe joins. This causes moisture and excess moisture is conducive to termite infestation. The degree of risk is moderate to high. You need to engage a plumber to rectify.

Timber fungal decay located around the home provides conducive conditions for termite infestation. The degree of risk is high. Have removed and replaced by a carpenter.

#56. Leaking bathroom This causes moisture and excess moisture is conducive to termite infestation. The degree of risk is high. You need to engage a plumber to rectify.

#57. Poor drainage - There is water ponding against walls. This provides conducive conditions for termite infestation. The degree of risk is high. Engage plumber to rectify.

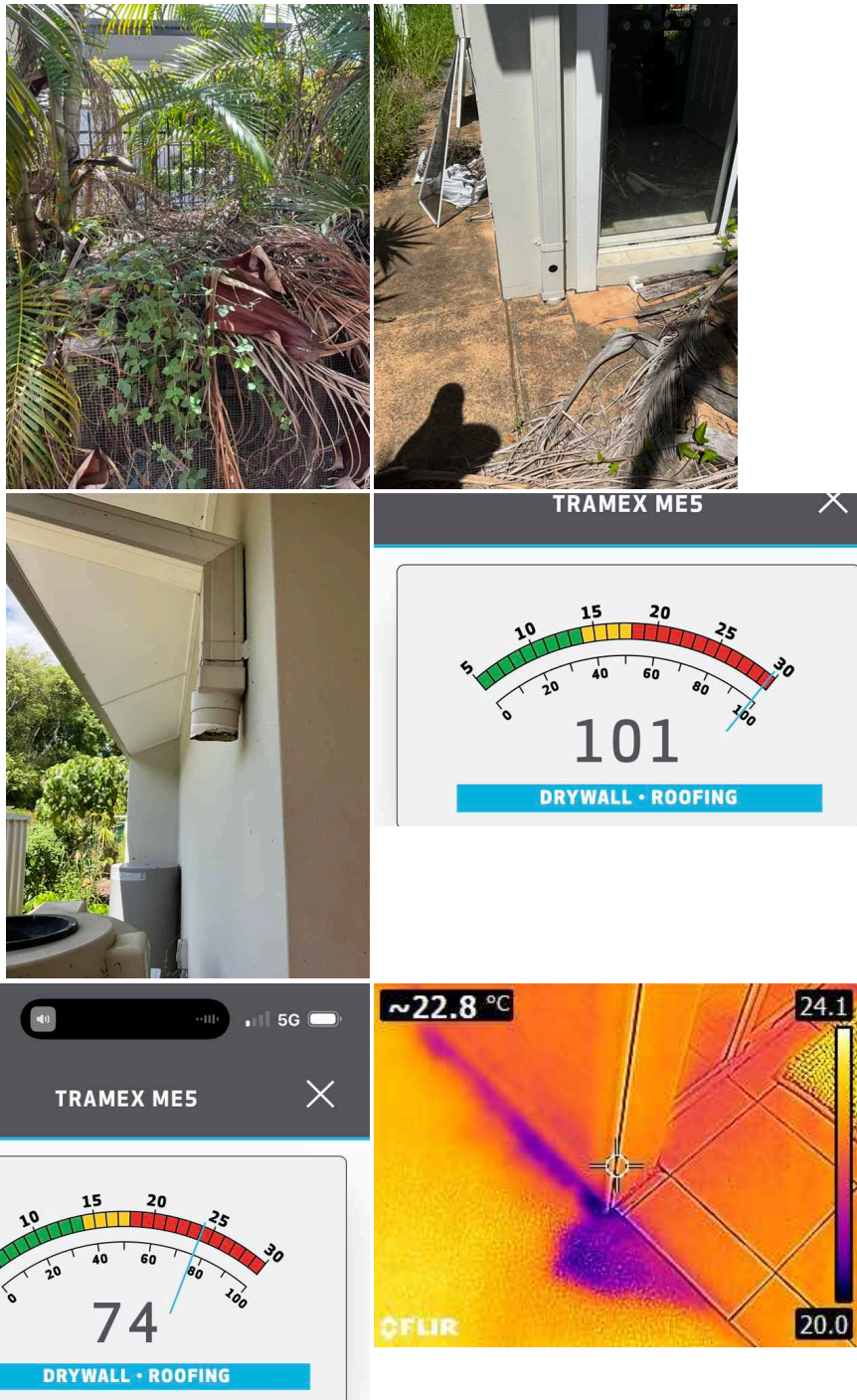
#58. Tree/leafy environment: The house is located in a suburb which is high risk due to the environmental surrounds. It is close to large gum trees and parkland. The degree of risk is moderate to high and therefore a termite management plan/treatment is strongly advised.

Vegetation around exterior walls. This should be removed as it can harbour termite activity.

#59. The fence is old and has rot and vegetation. This is conducive to termite infestation. Have cleaned out.

#60. High moisture readings detected in cavity wall which is conducive to termites.





8. Environmental Conditions

Are Trees Close to Home

Trees are in close proximity to the dwelling and within the termite foraging area. These are a favorable influence for termite infestation and i recommend you liaise with the neighbours to have regularly checked and if in your site, organise regular inspections for termite infestation.

Other Informational

Refer to important maintenance advice regarding ipm below.

9. Thermal Imaging Results

Observation

No thermal anomalies were detected.

An infrared thermal imager was utilised during the inspection.

No thermal anomalies were detected during this inspection, however various factors must be taken into effect which may hamper or impede the reading obtainable by the imager. These factors include obstructions, ambient temperature, wall material and thickness etc. If any surface is restricted visually or otherwise, a proper thermal reading is not possible and is not within the scope of this inspection. Any findings or otherwise is reported on at the time of the inspection only.



OVERALL ASSESSMENT

10. Overall Assessment of Property

Please Note

Where or if there has been evidence of live termites or termite damage or termite workings (mudding) found in the building(s) then the risk of a further attack is extremely high. Where evidence of live termites or termite damage or termite workings was found in the grounds but not in the buildings then the risk to buildings must be reported as high to extremely high.

Degree of Risk of Termite Infestation is

The overall degree of risk of timber pest infestation to this property appears to be extremely high - See notes below.

The overall degree of risk of timber pest infestation is a subjective assessment by the inspector at the time of the inspection taking into account many factors which include but are in no way limited to location and proximity to bush land and trees, the presence of evidence of timber pest damage or activity close to the inspected structure or within the inspected structure, conducive conditions that raise the potential of timber pest attack such as timbers in contact with soil, inaccessible areas, slab on ground construction etc, or other factors that in the inspectors opinion, raise the risk of future timber pest attack. It should be noted that even if a risk factor is high, this is not meant to deter a purchaser from purchasing the property, it is just to make them aware that increased vigilance is warranted and any recommendations regarding reducing conducive conditions or frequency of inspections should be headed by any property owner. Often, by reducing or eliminating some of the conducive conditions, the risk factor may be lowered.

11. Subterranean Termite Treatment Recommendation

Treatment Recommendation

A management program in accord with AS 3660-2000 to protect against subterranean termites is not essential as a system is installed, However we can not confirm the efficiency of the system 12 Monthly Inspections are strongly advised.

12. Future Inspections

Future Inspections

Future inspections: As 3660.2-2000 Recommends that inspections be carried out at intervals no greater than annually and where timber pest "pressure" is greater, this interval should be shortened. Inspections will not stop timber pest infestations; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

Due to the degree of risk of subterranean termite infestation noted above and all other findings of this report, we strongly recommend that a full inspection and written report in accord with as 4349.3 Or as 3660.2-2000

Recommended Inspection Intervals

3 Months.

13. General Remarks

Please Read

Please read: A more thorough invasive inspection is available. Where any current visible evidence of timber pest activity is found it is strongly recommended that a more invasive inspection is performed. Trees on the property up to a height of 2m have been visually inspected, where possible and practicable, for evidence of termite activity. It is very difficult, and generally impossible to locate termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of termite nests.

Important maintenance advice regarding integrated pest management for protecting against timber pests

Any structure can be attacked by timber pests. Periodic maintenance should include measures to minimize possibilities of infestation in and around a property. Factors which may lead to infestation from timber pests include situations where the edge of the concrete slab is covered by soil or garden debris, filled areas, areas with less than 400mm clearance, foam insulation at foundations, earth/wood contact, damp areas, leaking pipes, etc.; Form-work timbers, scrap timber, tree stumps, mulch, tree branches touching the structure, wood rot, etc. Gardens, pathways or turf abutting or concealing the edge of a concrete slab will allow for concealed entry by timber pests. Any timber in contact with soil such as form-work, scrap timbers or stumps must be removed from under and around the buildings and any leaks repaired. You should endeavor to ensure such conditions do not occur around your property.

It is strongly recommended that a full inspection to as 4349.3 Or as 3660.2-2000 Be carried out at least once every 12 months. Regular inspections do not stop timber pest attack, but are designed to limit the amount of damage that may occur by detecting problems early.

We further advise that you engage a professional pest control firm to provide a termite management program in accord with as 3660 to minimize the risk of termite attack. There is no way of preventing termite attack. Even as 3660 advises that "the provision of a complete termite barrier will impede and discourage termite entry into a building. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during routine inspections."

Disclaimer of liability:- No liability shall be accepted on account of failure of the report to notify any termite activity and/or damage present at or prior to the date of the report in any areas(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the licensed inspector (including but not limited to any area(s) or section(s) so specified by the report).

Disclaimer of liability to third parties: - This report is made solely for the use and benefit of the client named on the front of this report. No liability or responsibility whatsoever, in contract or tort, is accepted to any third party who may rely on the report wholly or in part. Any third party acting or relying on this report, in whole or in part, does so at their own risk.

Before you decide to purchase this property you should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property is free of timber pests. It also details important information about what you can do to help protect your property from timber pests. This information forms an integral part of the report.

14. Reasonable Access

Access to Inspect

Access to inspect:

Only areas to which reasonable access is available were inspected. The Australian standard 4349.3 Defines reasonable access as “areas where safe, unobstructed access is provided and the minimum clearances specified in the table below are available or, where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers.” Reasonable access does not include the use of destructive or invasive inspection methods. Nor does reasonable access include cutting or making access traps, or moving heavy furniture or stored goods.

A more thorough invasive inspection is available. Where any current visible evidence of timber pest activity is found it is strongly recommended that a more invasive inspection is performed. Trees on the property up to a height of 2m have been visually inspected, where possible and practicable, for evidence of termite activity. It is very difficult, and generally impossible to locate termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of termite nests.

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We further advise that you engage a professional pest control firm to provide a termite management program in accord with AS 3660 to minimize the risk of termite attack. There is no way of preventing termite attack. Even AS 3660 advises that “the provision of a complete termite barrier will impede and discourage termite entry into a building. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during routine inspections.”

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Area access hole into roof space - 450 X 400mm access hole required

Crawl space height in actual roof space - 600 X 600mm crawl space required

Height from floor into roof space - Accessible from 2.1M step ladder or 3.6M ladder placed against a wall.

Subfloor access hole - 500 X 400mm access hole required

Timber sub floor clearance required - 400Mm to bearer, joist or other obstruction

Concrete floor - 500Mm roof exterior accessible from a 3.6M ladder

Roof exterior - Accessible with a 3.6 Meter ladder

A more invasive physical inspection is available and recommended.

As detailed above, there are many limitations to this visual inspection only. With the permission of the owner of the premises we will perform a more invasive physical inspection that involves moving or lifting: Insulation, stored items, furniture or foliage during the inspection. We will physically touch, tap, test and when necessary force/ gouge suspected accessible timbers. We will gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes. This style of report is available by ordering with several days' notice. Inspection time for this style of report will be greater than for a visual inspection. It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner who must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property. Price is available on request.

15. Maintenance Advice

Please Read

Important maintenance advice regarding integrated pest management (ipm) for protecting against timber pests:

No property is safe from termites!

Termites are the cause of the greatest economic losses of timber in service in australia.

Independent data compiled by state forests shows 1 in every 5 homes is attacked by termites at some stage in its life. Australia's subterranean termite species (white ants) are the most destructive timber pests in the world. In fact it can take "as little as 3 months for a termite colony to severely damage almost all the timber in a home".

How termites attack your home

The most destructive species live in large underground nests containing several million timber destroying insects. The problem arises when a nest matures near your home. Your home provides natural shelter and a food source for the termites. The gallery system of a single colony may exploit food sources over as much as one hectare, with individual galleries extending up to 50 meters to enter your home, where there is a smörgåsbord of timber to feast upon. Even concrete slabs do not act as a barrier; they can penetrate through cracks in the slab to gain access to your home. They even build mud tubes to gain access to above ground timbers. In rare cases termites may create their nest in the cavity wall of the property without making ground contact. In these cases it may be impossible to determine their presence until extensive timber damage occurs.

Termite damage

Once in contact with the timber they excavate it often leaving only a thin veneer on the outside. If left undiscovered the economic species can cause many thousands of dollars damage and cost two to five thousand dollars (or more) to treat.

Subterranean termite ecology

These termites are social insects usually living in underground nests. Nests may be in trees or in rare instances they may be in above ground areas within the property. They tunnel underground to enter the building and then remain hidden within the timber making it very difficult to locate them. Where timbers are concealed, as in most modern homes, it makes it even more difficult to locate their presence. Especially if gardens have been built up around the home and termite barriers are either not in place or poorly maintained. Termites form nests in all sorts of locations and they are usually not visible. There may be more than one nest on a property. The diet of termites in the natural environment is the various hardwood and softwood species growing throughout Australia. These same timbers are used in buildings. Worker termites move out from their underground nest into surrounding areas where they obtain food and return to nurture the other casts of termites within the nest. Termites are extremely sensitive to temperature, humidity and light and hence cannot move over ground like most insects. They travel in mud encrusted tunnels to the source of food. Detection of termites is usually by locating these mud tunnels rising from the ground into the affected structure. This takes an expert eye. Termite barriers protect a building by forcing termites to show themselves. Termites can build mud tunnels around termite barriers to reach the timber above. The presence of termite tracks or leads does not necessarily mean that termites have entered the timber though. A clear view of walls and piers and easy access to the sub-floor means that detection should be fairly easy. However many styles of construction do not lend themselves to ready detection of termites. The design of some properties is such that they make the detection by a pest inspector difficult, if not impossible. The tapping and probing of walls and internal timbers is an adjunct or additional means of detection of termites but is not as reliable as locating tracks. The use of a moisture meter is a useful aid for determining the presence of termites concealed behind thin wall panels, but it only detects high levels of activity. Older damage that has dried out will not be recorded. It may also provide false readings. Termite tracks may be present in the ceiling space however some roofs of a low pitch and with the presence of insulation, air conditioning ductwork and hot water services may prevent a full inspection of the timbers in these areas. Therefore since foolproof and absolute certain detection is not possible the use of protective barriers and regular inspections is a necessary step in protecting timbers from termite attack.

Borers of seasoned timbers

Borers are the larvae of various species of beetles. The adult beetles lay their eggs within the timber. The eggs hatch out into larvae (grubs) which bore through the timber and can cause significant structural damage. The larvae may reside totally concealed within the timber for a period of several years before passing into a dormant pupae stage. Within the pupae case they metamorphose (change) into the adult beetle which cuts a hole in the outer surface of the timber to emerge, mate and lay further eggs to continue the cycle. It is only through the presence of these emergence holes, and the frass formed when the beetles cut the exit holes that their presence can be detected. Where floors are covered by carpets, tiling, or other floor coverings and where no access to the under floor area is available it is not possible to determine whether borers are present or not. This is particularly the case with the upper floors of a dwelling. Borers of 'green' unseasoned timber may also be present. However these species will naturally die out as the timbers dry out in service. Whilst some emergence holes may occur in a new property it would be unusual for such a borer to cause structural damage, though the exit holes may be unsightly.

Anobium borer (furniture beetle) and queensland pine borer

These beetles are responsible for instances of flooring collapse, often triggered by a heavy object being placed on the floor (or a person stepping on the affected area!) Pine timbers are favored by this beetle and, while the sapwood is preferred, the heartwood is also sometimes attacked. Attack by this beetle is usually observed in timbers that have been in service for 10-20 years or more and mostly involves flooring and timber wall paneling. The frass from the flight holes (faeces and chewed wood) is fine and gritty. Wood attacked by these borers is often honeycombed.

Lyctus borer (powder post beetle)

These borers only attack the sapwood of certain susceptible species of hardwood timber. Since it is a requirement that structural timbers contain no more than 25% lyctus susceptible sapwood these borers are not normally associated with structural damage. Replacement of affected timbers is not recommended and treatment is not approved. Where decorative timbers are affected the emergence holes may be considered unsightly in which case timber replacement is the only option. Powder post beetles mostly attack during the first 6-12 months of service life of timber. As only the sapwood is destroyed, larger dimensional timbers (such as rafters, bearers and joists) in a house are seldom weakened significantly to cause collapse. In small dimensional timbers (such as tiling and ceiling battens) the sapwood may be extensive, and its destruction may result in collapse. Replacement of these timbers is the only option available.

Timber decay fungi

The fruiting bodies of wood decay fungi vary in size, shape and colour. The type of fungi encountered by pest controllers usually reside in poorly ventilated sub-floors, below wet areas of the home, exterior timbers and in areas that retain water in the soil. The durability and type of timbers are factors along with the temperature and environment. Destruction of affected timbers varies with the symptoms involved. Removal of the moisture source usually alleviates the problem. Fungal decay is attractive to termites and if the problem is not rectified it may well lead to future termite attack.

The Inspection and Report was carried out by: Robert mckay

State License Number: QBCC Lic No 1268733

Contact the Inspector on: 0433233558

For and on Behalf of: MEC Builders

